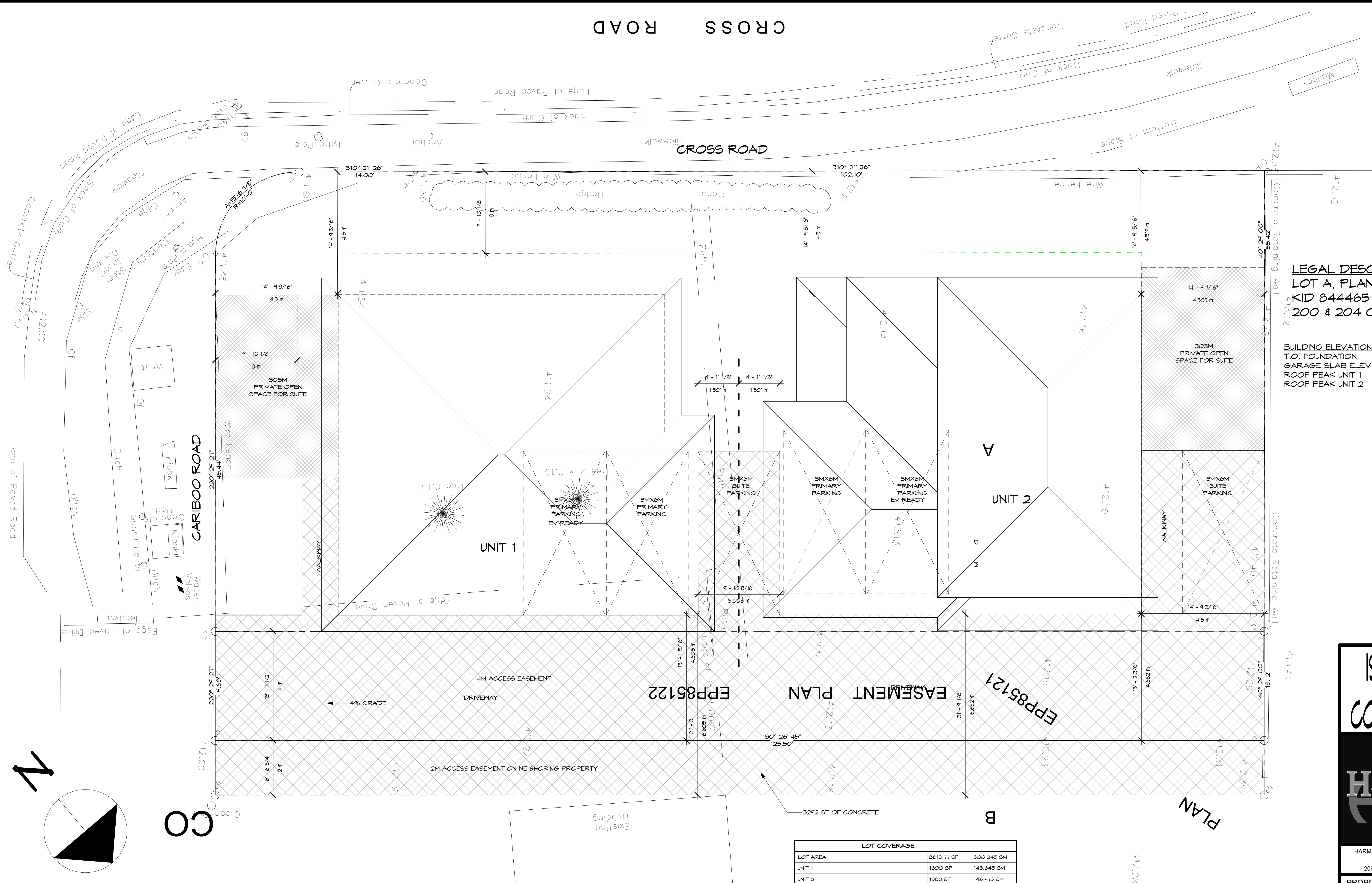


CROSS ROAD

CARIBOO ROAD



LEGAL DESCRIPTION
 LOT A, PLAN EPP85121
 KID 844465
 200 & 204 CARIBOO ROAD

BUILDING ELEVATIONS
 T.O. FOUNDATION 412.503M
 GARAGE SLAB ELEV 412.351M
 ROOF PEAK UNIT 1 420.518M
 ROOF PEAK UNIT 2 422.599M

LOT COVERAGE		
LOT AREA	8613.77 SF	800.245 SM
UNIT 1	1600 SF	148.645 SM
UNIT 2	1502 SF	140.973 SM
	0 SF	0 SM
	0 SF	0 SM
TOTAL LOT COVERAGE	3102 SF	289.62 SM
ALLOWABLE LOT COVERAGE	3445.51 SF	320.048 SM
PROPOSED LOT COVERAGE	36.94%	
ALLOWABLE LOT COVERAGE	40 %	
IMPERMEABLE AREA	2450 SF	227.61 SM
LC WITH IMPERMEABLE SURFACES	65.39%	
ALLOWABLE LC WITH IMPERMEABLE SURFACES	70%	

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
 PHONE: (250)765-5191
 2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
SCHULZ
 200 & 204 CARIBOO ROAD,
 KELOWNA, B.C.

DRAWING TITLE:
 SITE PLAN

DRAWING SCALE: 3/16" = 1'-0"

DATE: JUNE 4, 2024

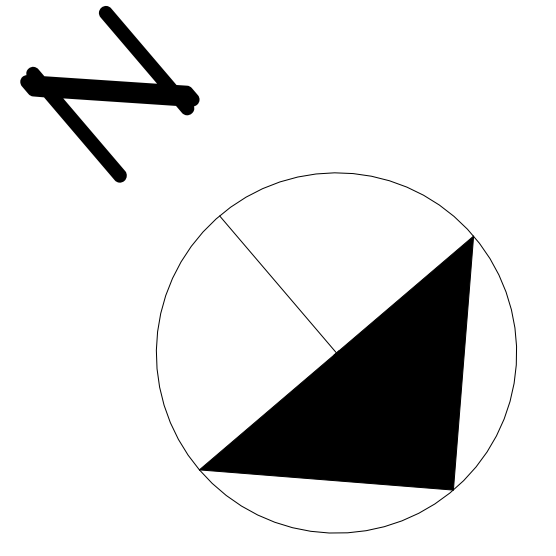
REV. DATE: JULY 10, 2024

DRN. BY: J.A.S.

8

Creating Homes, Building Relationships

1 Site
 3/16" = 1'-0"





① Cariboo Road Streetscape
1/8" = 1'-0"



② Cross Road Streetscape
1/8" = 1'-0"

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
SCHULZ
200 & 204 CARIBOO ROAD,
KELOWNA, B.C.

DRAWING TITLE:
STREETSCAPE ELEVATIONS

DRAWING SCALE: 1/8" = 1'-0"

DATE: JUNE 4, 2024

REV. DATE: JULY 10, 2024

DRN. BY: J.A.S.



① Front 3D



② Rear 3D

THIS HOME TO MEET STEP 3 OF THE ENERGY STEP CODE. REFER TO THE BC ENERGY COMPLIANCE REPORT FOR MINIMUM SPECIFICATIONS.

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. BOLEGOH & MS. SCHULZ
200 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
ORTHOGRAPHIC 3D

DRAWING SCALE:

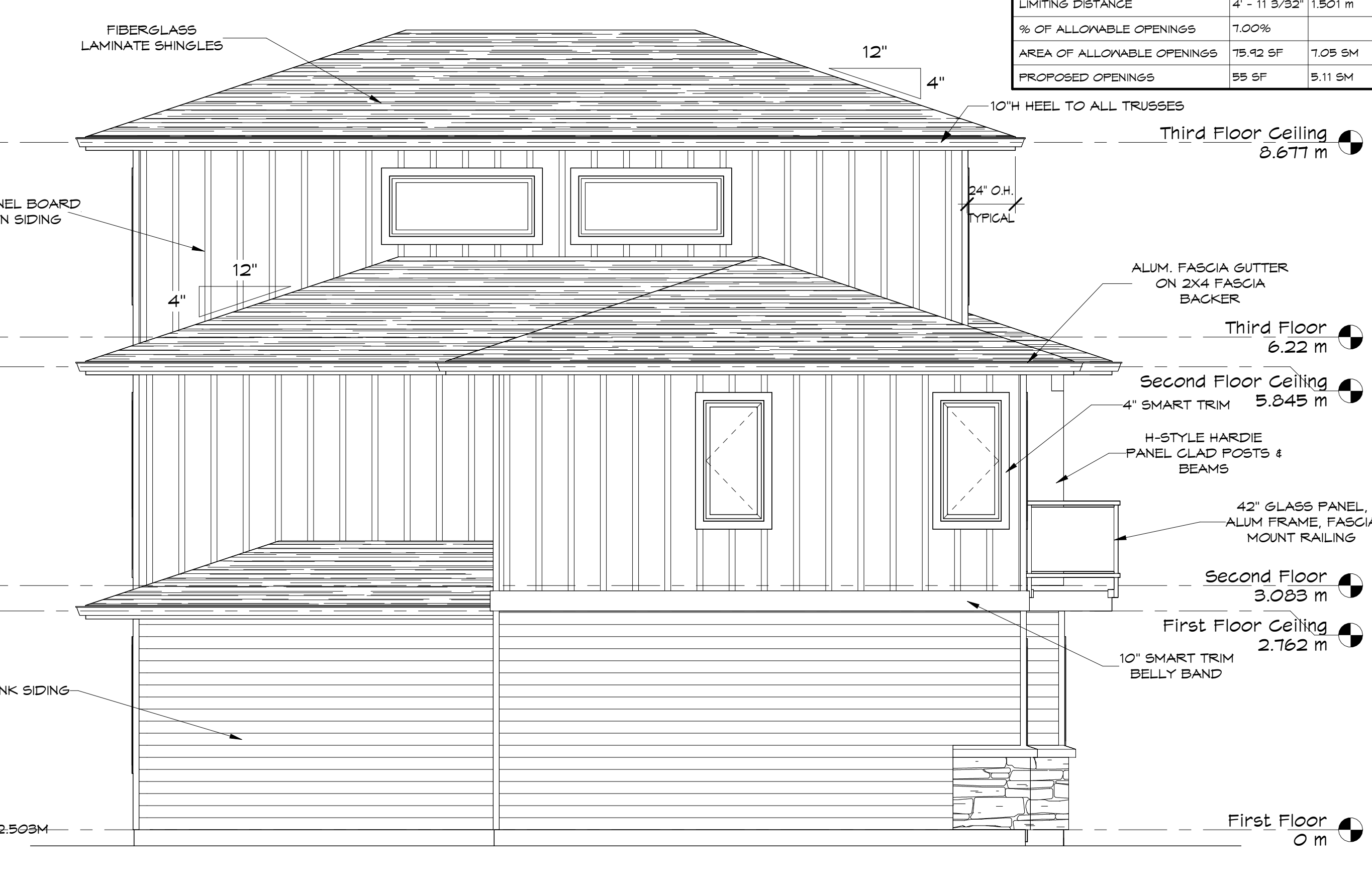
DATE: MARCH 20, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

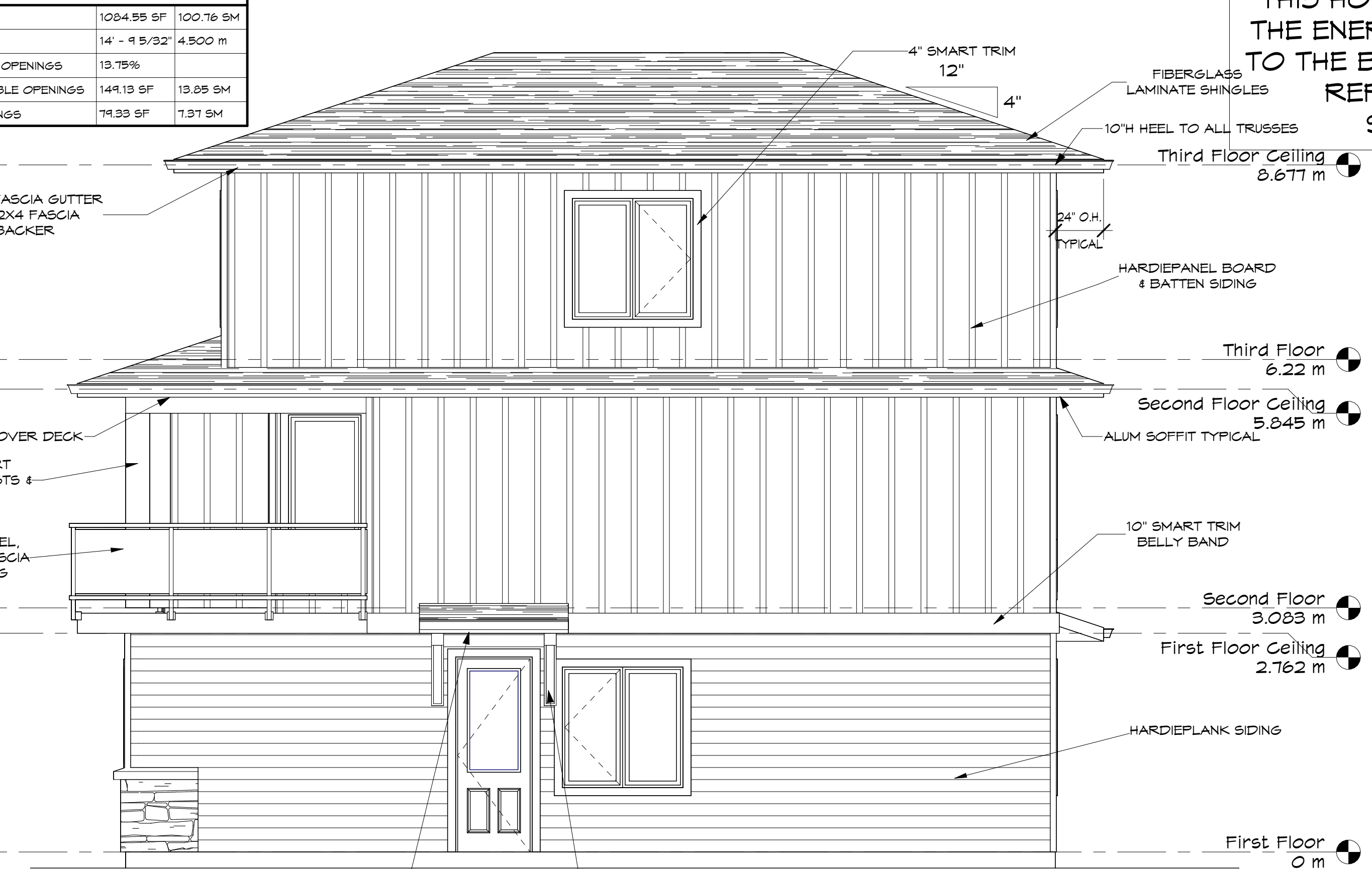
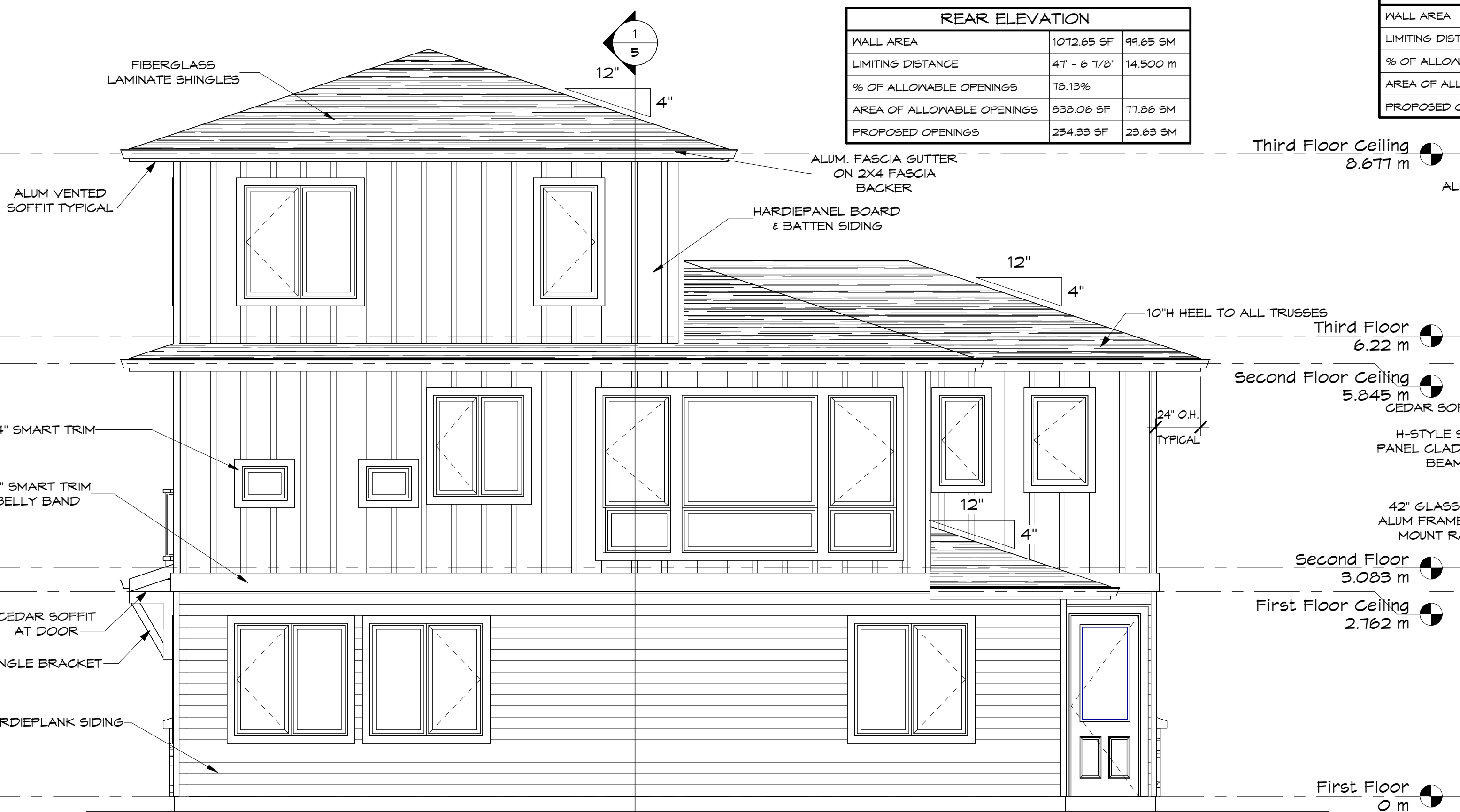
FRONT ELEVATION		
WALL AREA	1072.65 SF	99.65 SM
LIMITING DISTANCE	15' - 2 3/8"	4.632 m
% OF ALLOWABLE OPENINGS	23.15%	
AREA OF ALLOWABLE OPENINGS	248.32 SF	23.07 SM
PROPOSED OPENINGS	241.14 SF	22.46 SM

LEFT ELEVATION		
WALL AREA	1084.55 SF	100.76 SM
LIMITING DISTANCE	4' - 11 3/32"	1.501 m
% OF ALLOWABLE OPENINGS	7.00%	
AREA OF ALLOWABLE OPENINGS	75.92 SF	7.05 SM
PROPOSED OPENINGS	55 SF	5.11 SM



① Front
1:48

② Left
1:48



③ Rear
1:48

④ Right
1:48

REAR ELEVATION		
WALL AREA	1072.65 SF	99.65 SM
LIMITING DISTANCE	47' - 6 7/8"	14.500 m
% OF ALLOWABLE OPENINGS	78.13%	
AREA OF ALLOWABLE OPENINGS	838.06 SF	77.86 SM
PROPOSED OPENINGS	254.93 SF	23.63 SM

RIGHT ELEVATION		
WALL AREA	1084.55 SF	100.76 SM
LIMITING DISTANCE	14' - 9 5/32"	4.500 m
% OF ALLOWABLE OPENINGS	13.75%	
AREA OF ALLOWABLE OPENINGS	149.13 SF	13.95 SM
PROPOSED OPENINGS	79.33 SF	7.31 SM

THIS HOME TO MEET STEP 3 OF THE ENERGY STEP CODE. REFER TO THE BC ENERGY COMPLIANCE REPORT FOR MINIMUM SPECIFICATIONS.

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. BOLEGOH & MS. SCHULZ
200 CARIBOO ROAD
KELOWNA, B.C.

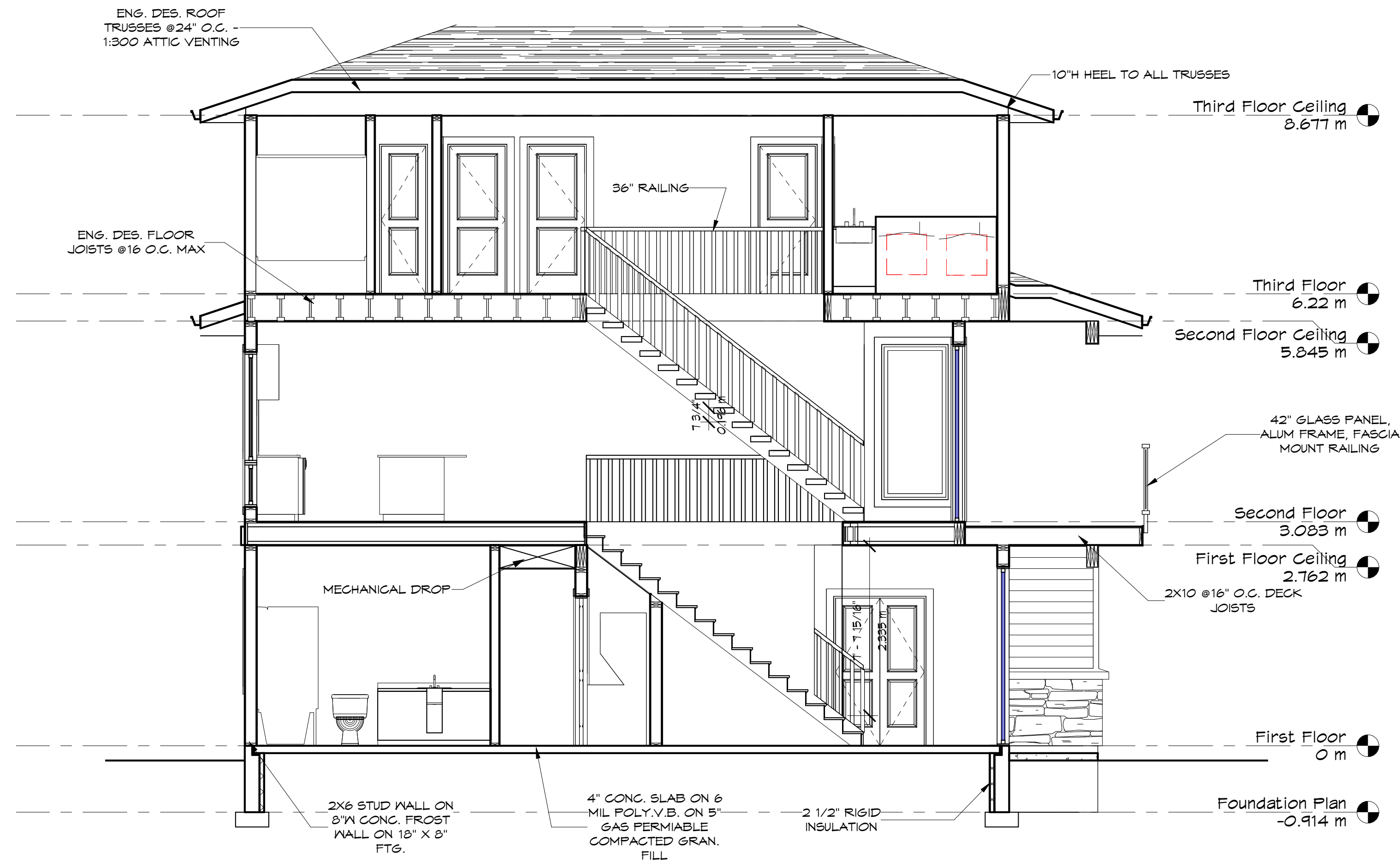
DRAWING TITLE:
ELEVATIONS

DRAWING SCALE: 1:48

DATE: MARCH 20, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.



Section 1
1:48

- ROOF CONSTRUCTION**
- FIBERGLASS LAMINATE SHINGLES
 - 30# ROOFING FELT
 - 1/16" O.S.B. ROOF SHEATHING C/W "H" CLIPS
 - ENGINEER DESIGNED ROOF TRUSSES
 - R-50 INSULATION
 - 6 MIL POLY. VAPOUR BARRIER
 - 1/2" GYPSUM BOARD

- SLAB ON GRADE SLAB CONSTRUCTION**
- 4" CONC. SLAB @25 MPA
 - 6 MIL POLY. VAPOUR BARRIER
 - 5" GAS-PERMIABLE COMPACTED GRAN. FILL

- DECK CONSTRUCTION**
- WEATHER PROOF MEMBRANE
 - 3/4" T&G FIR PLYWOOD DECKING
 - 2X10 D.FIR #2 DECK JOISTS @16" O.C.

- EXTERIOR WALL CONSTRUCTION**
- HARDIE PLANK SIDING
 - TYVEK OR EQUIVALENT AIR BARRIER
 - 1/16" O.S.B. SHEATHING
 - 2X6 SFF STUDS @24" O.C.
 - R-24 INSULATION
 - 6 MIL POLY. VAPOUR BARRIER
 - 1/2" GYPSUM BOARD

- INTERIOR WALL CONSTRUCTION**
- 1/2" GYPSUM BOARD TO BOTH SIDES
 - 2X4 SFF STUDS @16" O.C.

- GARAGE SLAB CONSTRUCTION**
- 4" CONC. SLAB @32MPA
 - 5" COMPACTED GRAN. FILL
 - SLAB SLOPED TO O.H. DOOR

- INTERIOR FLOOR CONSTRUCTION**
- FINISHED FLOORING
 - 3/8" PLYWOOD UNDER TILED AREA
 - 3/4" T&G FIR PLYWOOD SUBFLOOR
 - ENGINEER DESIGNED FLOOR SYSTEM @16" O.C. MAX
 - 1/2" GYPSUM BOARD

- STAIR CONSTRUCTION**
- 16 EQUAL RISERS OF 5/8" PLYWOOD
 - 10" RUN
 - 11" TREADS OF 1" O.S.B.
 - 2X12 STRINGERS
 - 2-10" HANDRAILS

- GENERAL NOTES**
- ALL WORK TO BE IN COMPLIANCE WITH THE CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE 2024, CURRENT ELECTRICAL AND PLUMBING CODES AND ALL LOCAL BUILDING CODE AND BYLAWS WHICH MAY TAKE PRECEDENCE.
 - ALL WORK SHALL BE PERFORMED IN ALL RESPECTS TO GOOD BUILDING PRACTICE. WRITTEN DIMENSIONS TO BE FOLLOWED. DO NOT SCALE FROM DRAWINGS.
 - ALL FLOOR JOISTS AND BEAMS TO BE D.FIR/LARCH #2 OR BETTER UNLESS NOTED OTHERWISE
 - WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LB. FELT, 6 MIL. POLY. OR OTHER APPROVED METHOD.
 - PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIA. ANCHOR BOLTS AT MAXIMUM 8" O.C. AND AT ALL CORNERS.
 - ALL MEASUREMENTS, GRADES AND LEVELS TO BE VERIFIED ON SITE BEFORE COMMENCING CONSTRUCTION.
 - PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION AND TO THEIR APPROVAL.
 - ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.

- FLOOR JOIST SPANS OF MORE THAN 7'0" SHALL BE BRIDGED AT MID-SPAN OR AT 7'0" O.C. MAXIMUM. BRIDGING SHALL BE 2X2" DIAGONAL TYPE CROSS BRIDGING INSTALLED AS PER THE B.C.B.C. 2024.
- FLASHING TO BE INSTALLED AT ALL PENETRATIONS IN ROOF SYSTEM AND CHANGES IN ROOF PLANE.
- ALL ELECTRICAL/PLUMBING FIXTURES TO BE VERIFIED WITH OWNER.
- FLASHING TO BE INSTALLED AT ALL CHANGES IN HORIZONTAL EXTERIOR FINISHINGS AND OVER ALL UNPROTECTED OPENINGS. CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS.
- HARMONY HOMES SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- HARMONY HOMES MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE CONSTRUCTION DRAWINGS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF ALL TRADES AND SUB-TRADES TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE COMMENCING WITH THEIR PORTION OF THE CONSTRUCTION. SHOULD DISCREPANCIES BE FOUND ON THESE PLANS, PLEASE ADVISE OUR OFFICES SO WE CAN MAKE THE NECESSARY CORRECTIONS.

INTERIOR SWING DOORS

ROUGH OPENING IS ALWAYS 82 1/2" HIGH X 2" GREATER THAN THE NOMINAL DOOR SIZE
EX. 28 X 68 = 34" X 82 1/2"

INTERIOR BIFOLDS

ROUGH OPENINGS FOR 2 PANEL DOORS ARE 1 1/4" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 30 X 68 = 37 1/4" X 81 1/2"
ROUGH OPENINGS FOR 4 PANEL DOORS ARE 1" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 50 X 68 = 61" X 81 1/2"

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. BOLEGOH & MS. SCHULZ
200 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
CROSS SECTION

DRAWING SCALE: 1 : 48

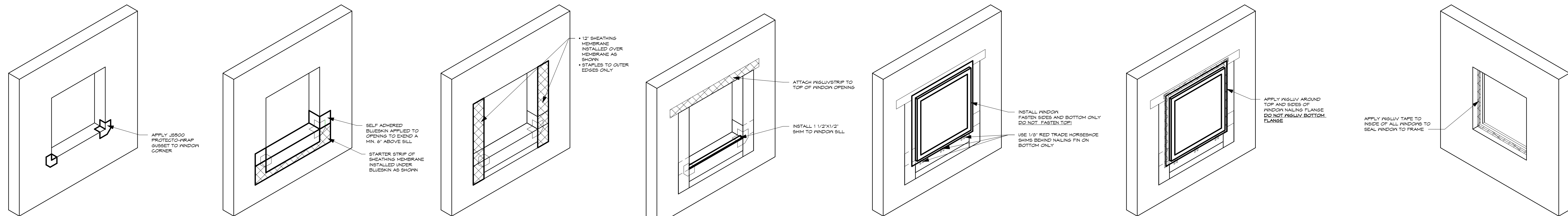
DATE: MARCH 20, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

5

Creating Homes, Building Relationships



1 Window Detail Step #1
1: 24

2 Window Detail Step #2
1: 24

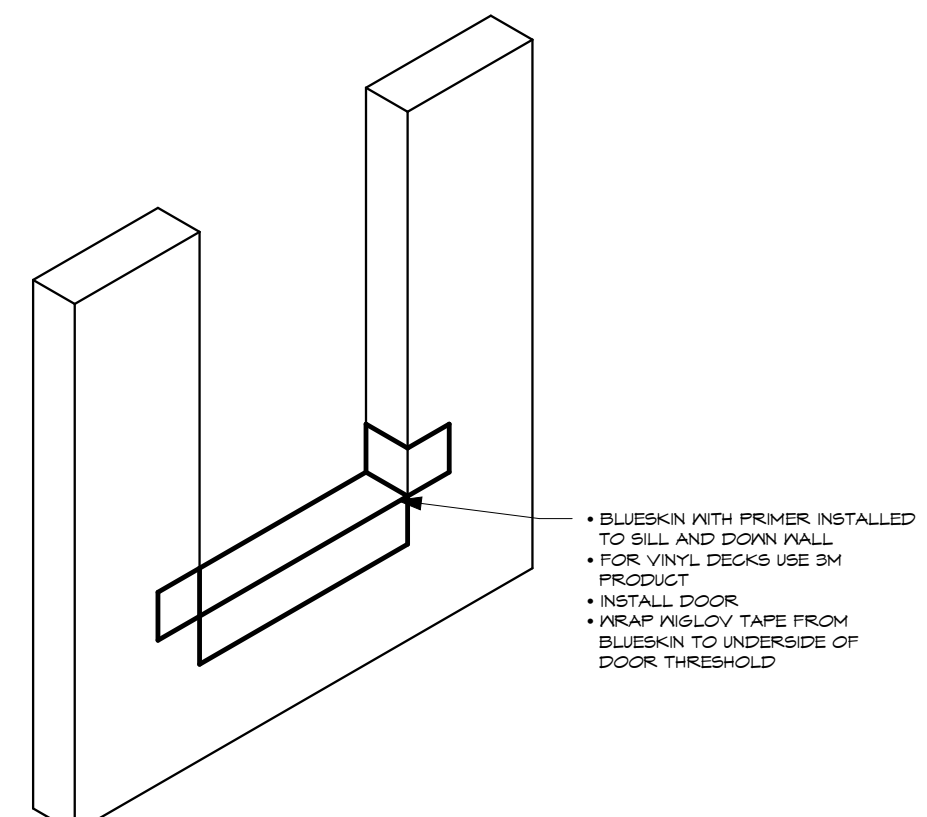
3 Window Detail Step #3
1: 24

4 Window Detail Step #4
1: 24

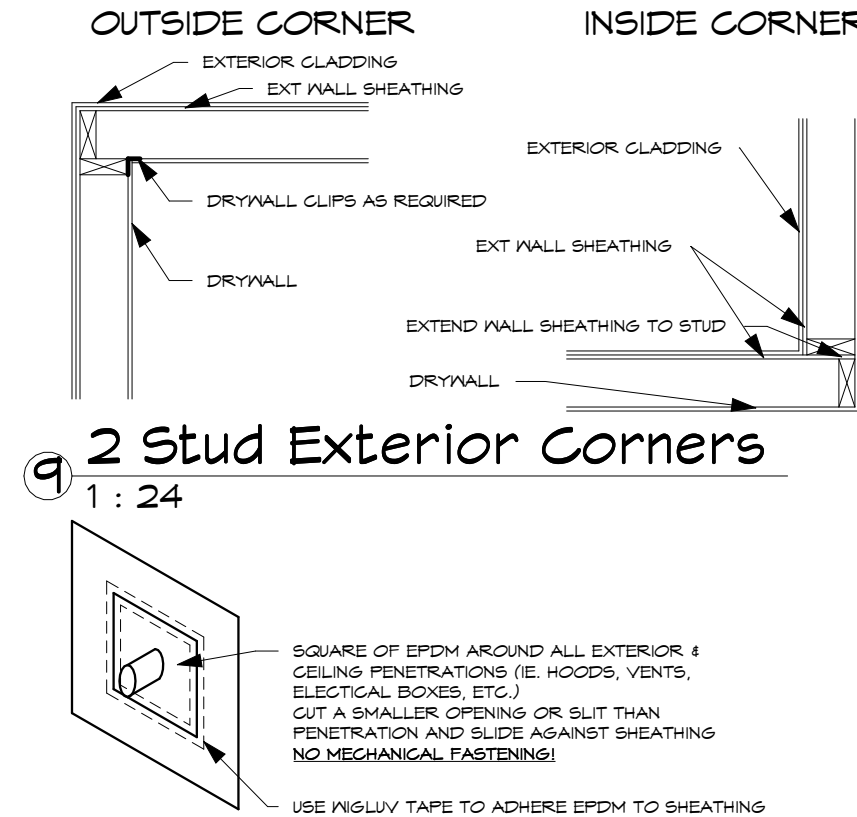
5 Window Detail Step #5
1: 24

6 Window Detail Step #6
1: 24

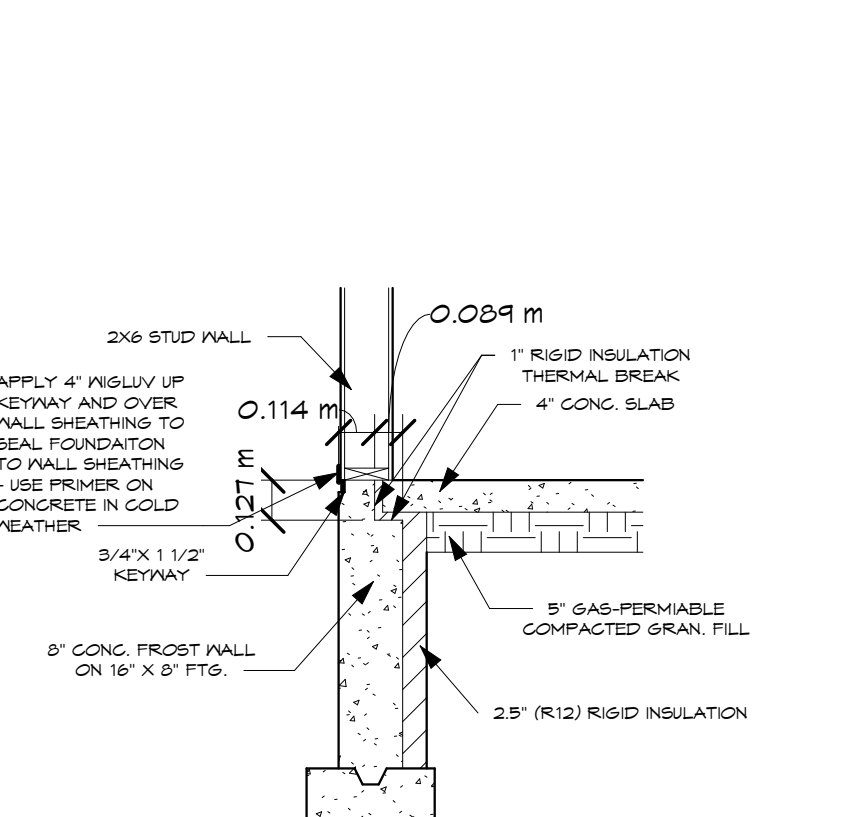
7 Interior Window Detail
1: 24



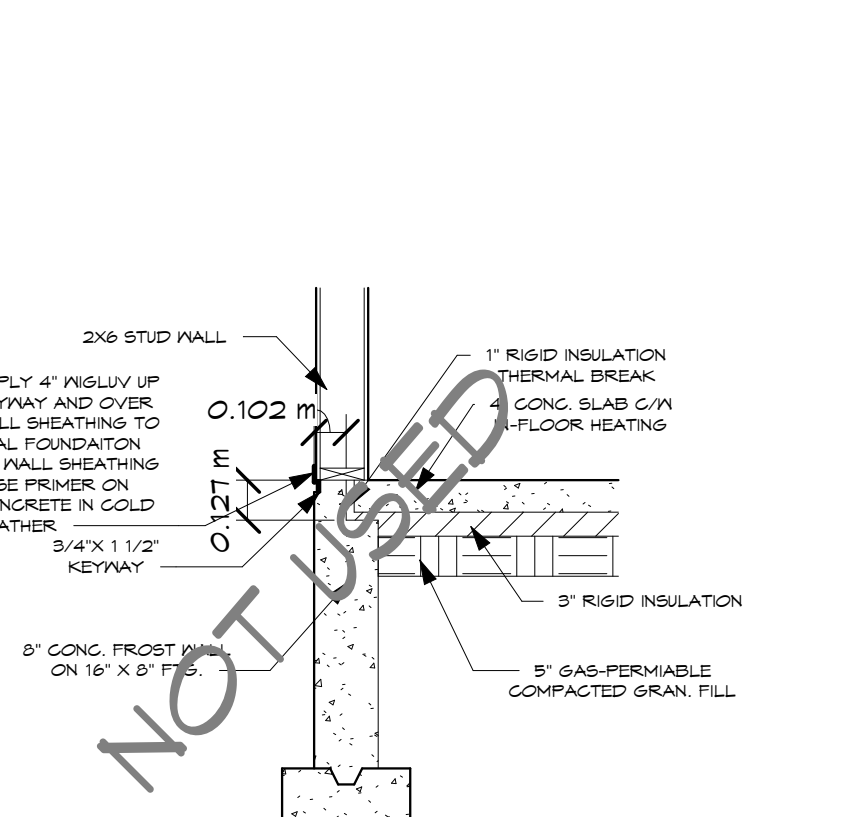
8 Door Sill Detail
1: 24



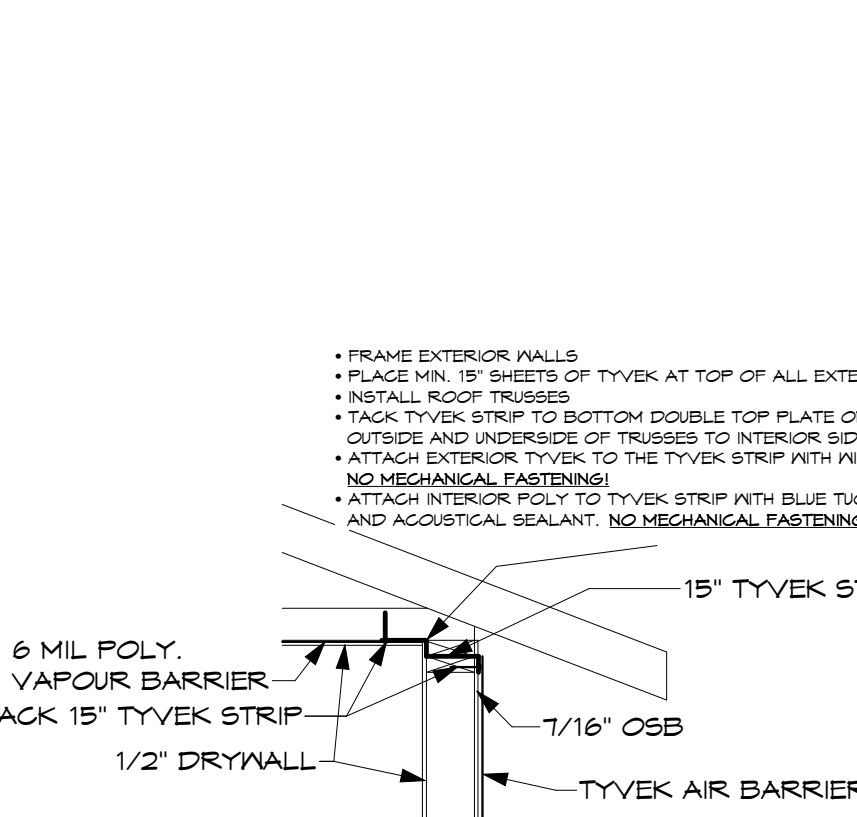
9 2 Stud Exterior Corners
1: 24



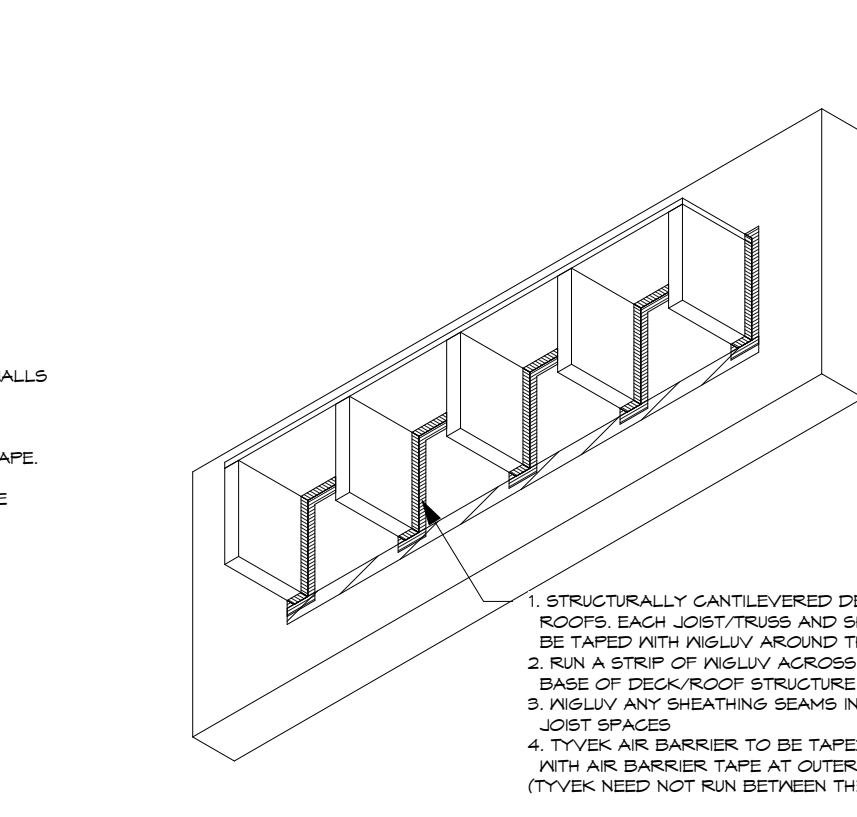
10 Frost Wall Detail
1: 24



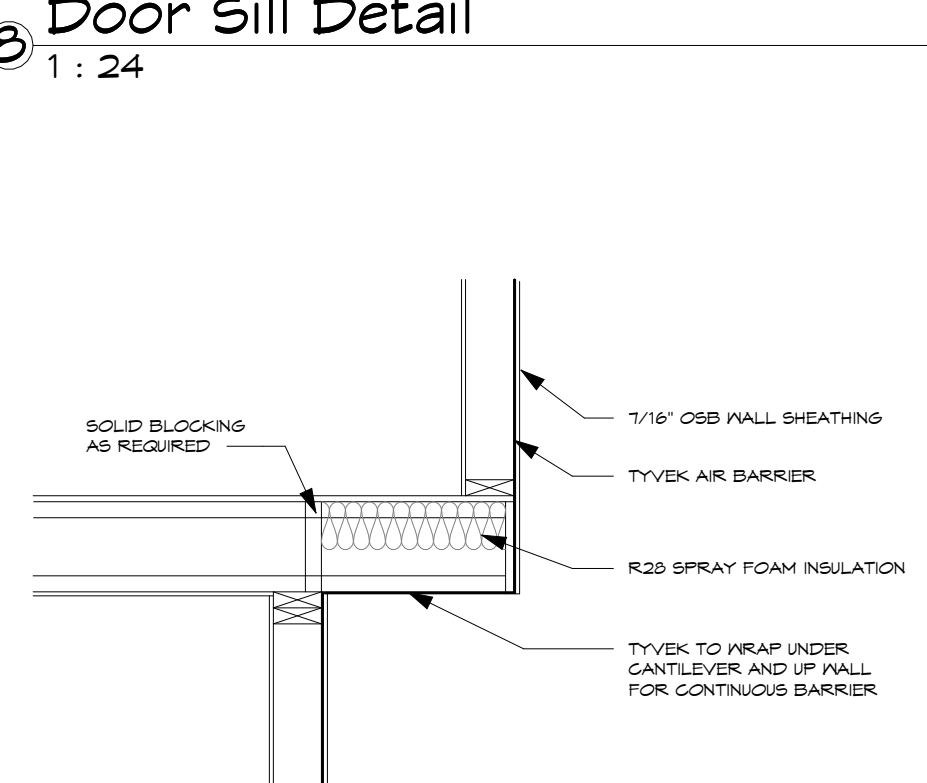
11 Heated Slab Detail
1: 24



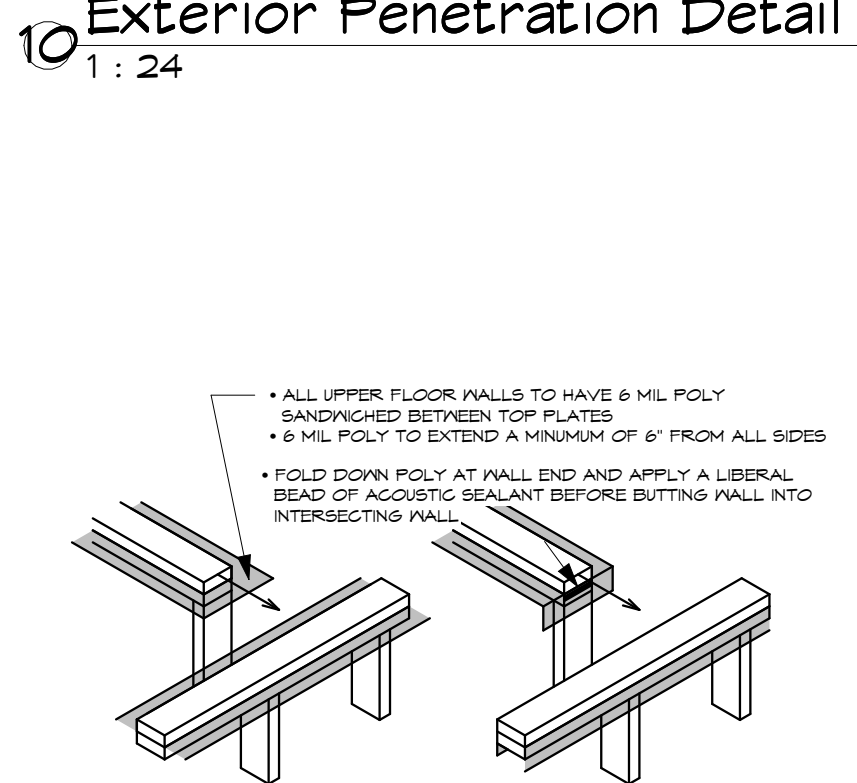
12 Exterior Wall Air Barrier Detail
1: 24



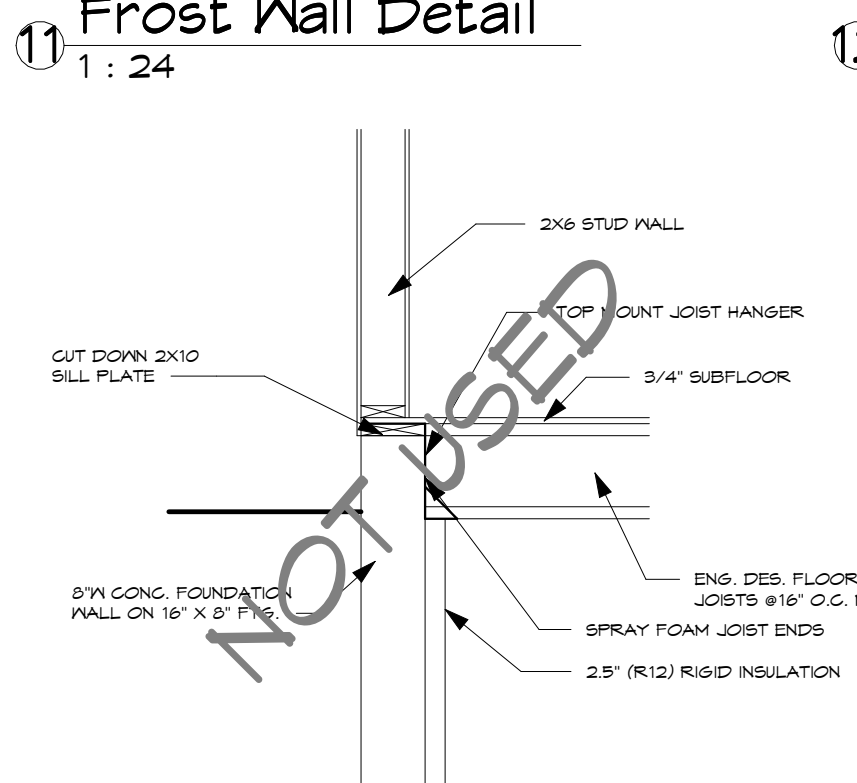
13 Cantilevered Deck Air Barrier Detail
1: 24



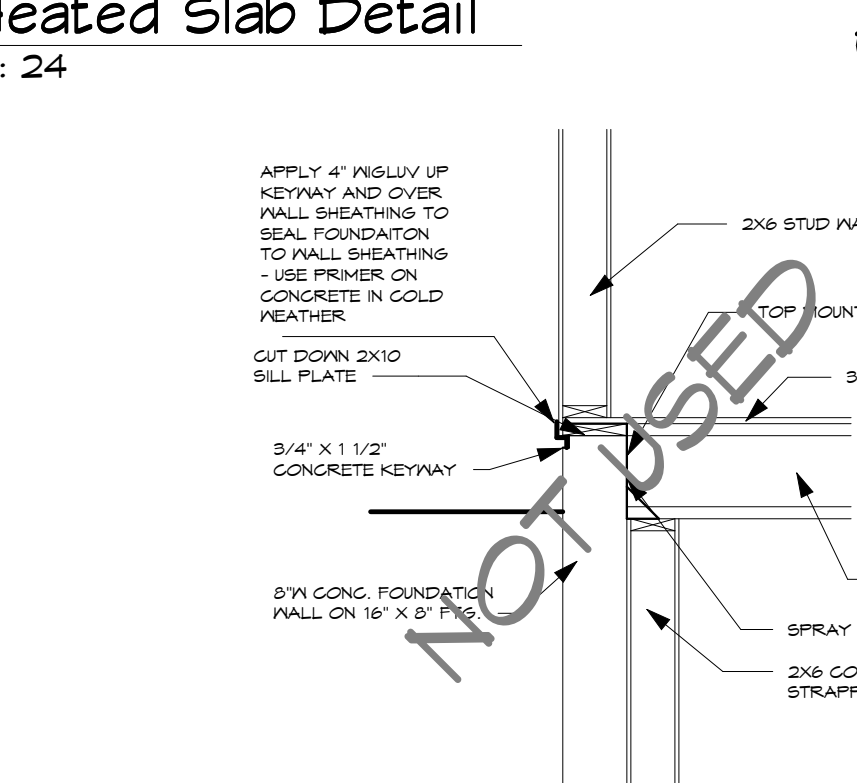
14 Cantilever Air Barrier Detail
1: 24



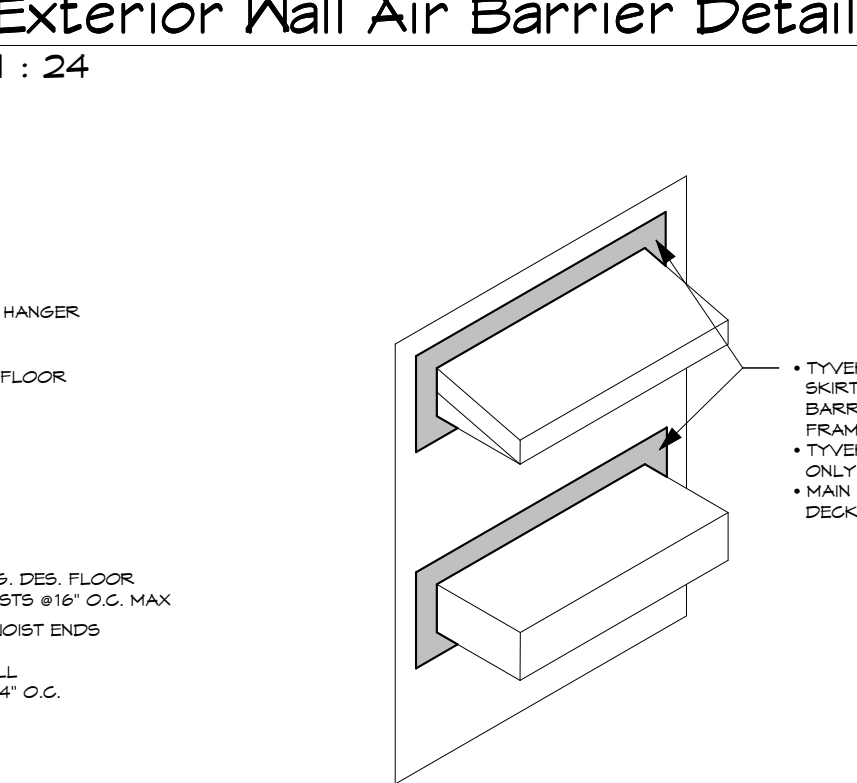
15 Ceiling Air Barrier Detail
1: 24



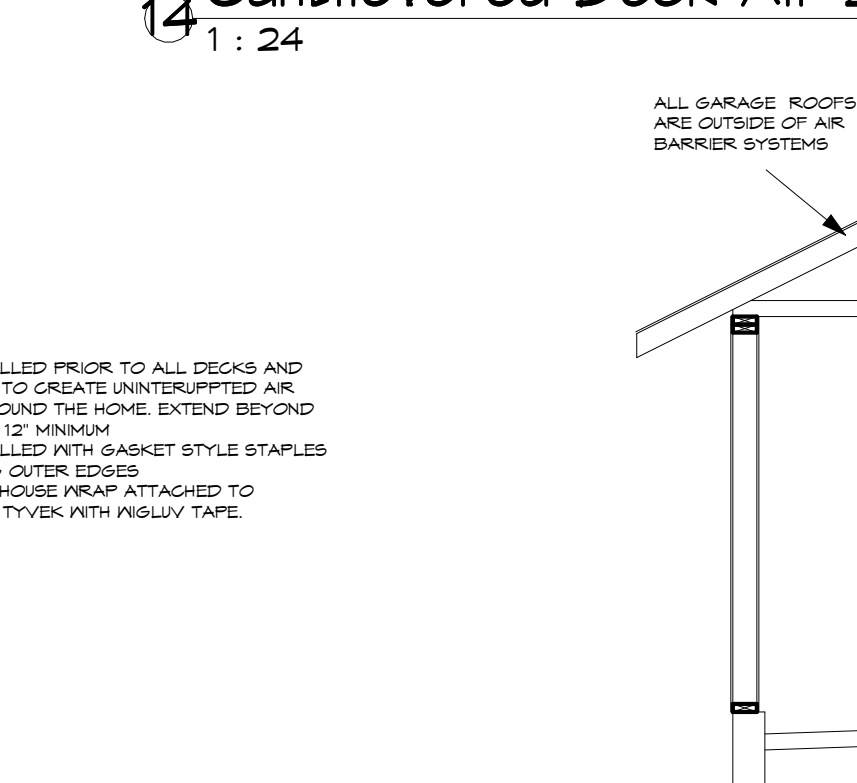
16 Crawlspace Recessed Joist Detail
1: 24



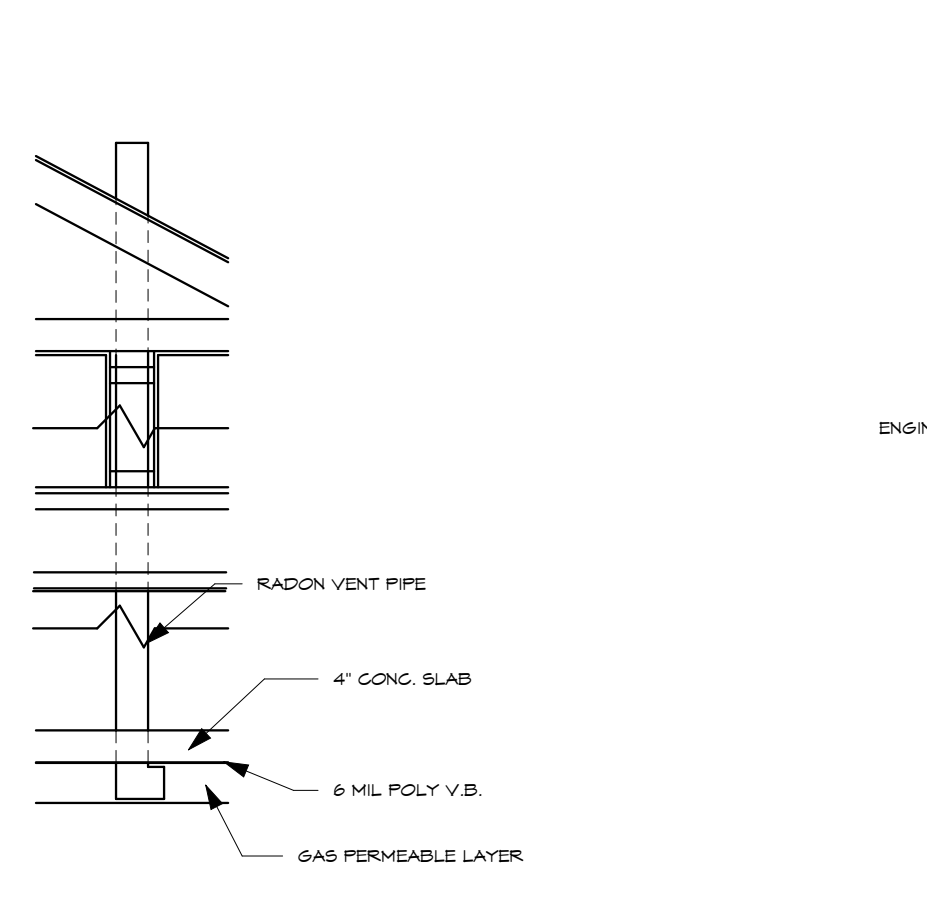
17 Recessed Joist Detail c/w 1 Plate
1: 24



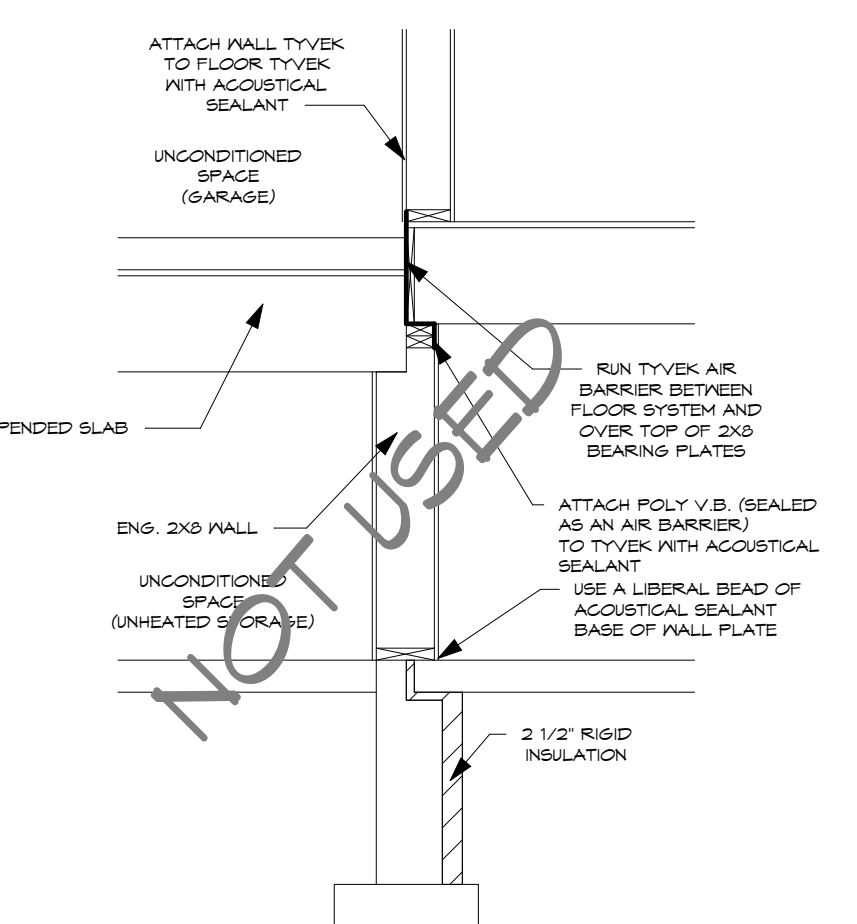
18 Deck or Skirt Roof Air Barrier Detail
1: 48



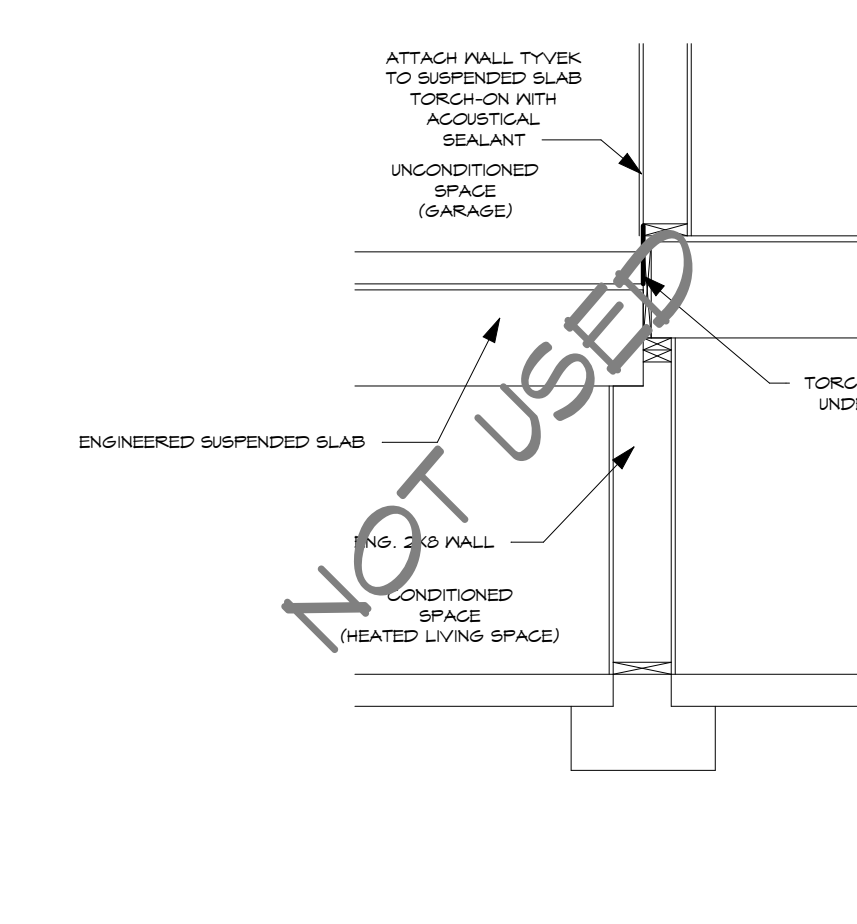
19 Garage Air Barrier Detail
1: 48



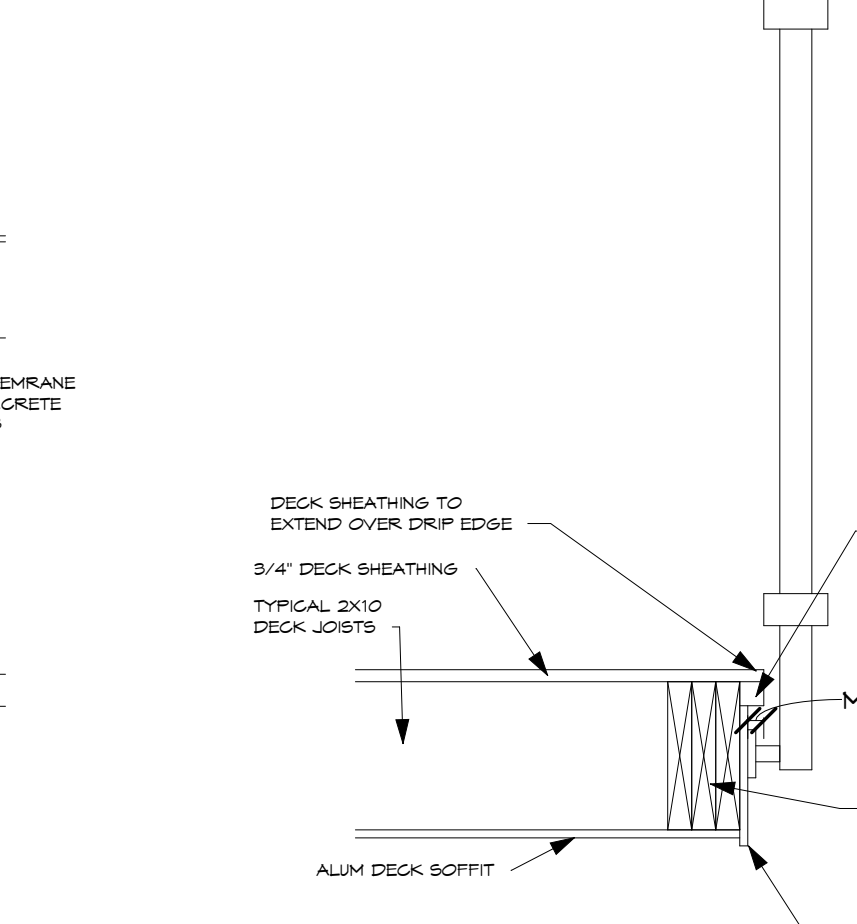
20 Radon Depressurization Detail
1: 24



21 Unheated Suspended Slab Detail
1: 24



22 Heated Suspended Slab Detail
1: 24



23 Deck Drip Edge Detail
1: 12

THIS HOME TO MEET STEP 3 OF THE ENERGY STEP CODE. REFER TO THE BC ENERGY COMPLIANCE REPORT FOR MINIMUM SPECIFICATIONS.

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. BOLEGOH & MS. SCHULZ
200 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
STANDARD DETAILS

DRAWING SCALE: As indicated

DATE: MARCH 20, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.



BC STEP CODE COMPLIANCE CHECKLIST - PERFORMANCE PATHS FOR PART 9 BUILDINGS



Checklist Last Updated: 2024-06-04

A: PROJECT INFORMATION

Table with project details: Building Permit #, Builder, Project Address, Municipality, Postal Code, PID or Legal Description.

Pre Construction

Table with building details: Building Type, # of Dwelling Units.

B: CODE COMPLIANCE SUMMARY

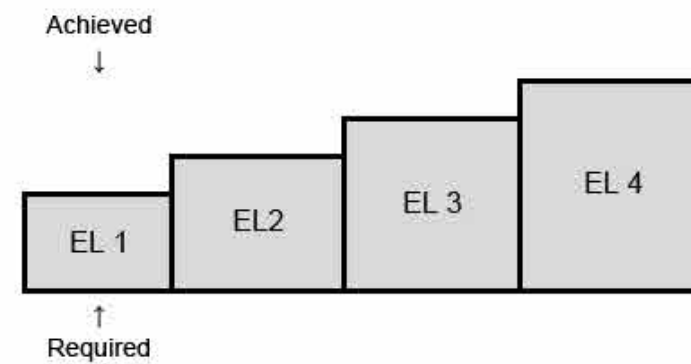
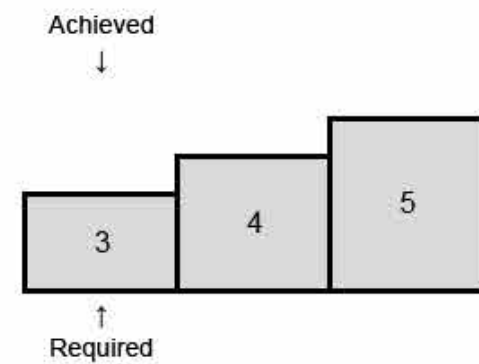
BC Building Code Performance Compliance Path: 9.36.6. BC Energy Step Code ERS

Energy Step Code Step Required: 3

Zero Carbon Step Code Level Required: EL 1 - Measure Only

Proposed Step Achieved: 3

Proposed Level Achieved: EL 1 - Measure Only



Based on info provided by the builder & the following drawings:

Table with plan details: Plan Author, Plan Version, Plan Date.

C: COMPLETED BY

Table with contact information: Full Name, Company Name, Phone, Address, Email, Date, Service Organisation, Energy Advisor ID #.

P File # 52A3P01270

D: BUILDING CHARACTERISTICS SUMMARY

Checklist Last Updated: 2024-06-04

Main table for Building Characteristics Summary with columns: Details, Average Effective RSI, Performance Values (USI, SHGC).

E: 9.36.5. ENERGY PERFORMANCE COMPLIANCE

Checklist Last Updated: 2024-06-04

Complete this section if using the Energy Performance Compliance Path in Subsection 9.36.5.

Table comparing Proposed House Energy Consumption (GJ/year) and Reference House Rated Energy Target (GJ/year) for HVAC and DHW Heating.

The airtightness value used in the energy model calculations for the Proposed house is: Or Testing Target:

The above calculation was performed in compliance with Subsection 9.36.5. of Division B:

F: 9.36.6. ENERGY STEP CODE COMPLIANCE

Table showing Proposed House Rated Energy Consumption (GJ/year) and Reference House Rated Energy Target (GJ/year).

Table for Proposed Calculations showing Proposed House Metrics, Unit, Proposed Step Requirement, Proposed House Result, and Proposed House Pass or Fail.

Table with software and climate data: Software Used, Version, Heated Floor Area, Building Volume, Building Surface Area, FWDR, Degree Days Below 18°C, % Of Space Cooled.

G: ZERO CARBON STEP CODE

Table for Proposed Calculations showing Zero Carbon Step Code Level, Proposed Level Requirement, Proposed House Result, and Proposed House Pass or Fail.

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD. PHONE: (250)765-5191 2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF: MR. BOLEGOH & MS. SCHULZ 200 CARIBOO ROAD KELOWNA, B.C.

DRAWING TITLE: ENERGY REPORT

DRAWING SCALE:

DATE: MARCH 20, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

7

Creating Homes, Building Relationships



① Front 3D



② Rear 3D

THIS HOME TO MEET STEP 3 OF THE ENERGY STEP CODE. REFER TO THE BC ENERGY COMPLIANCE REPORT FOR MINIMUM SPECIFICATIONS.

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
204 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
ORTHOGRAPHIC 3D

DRAWING SCALE:

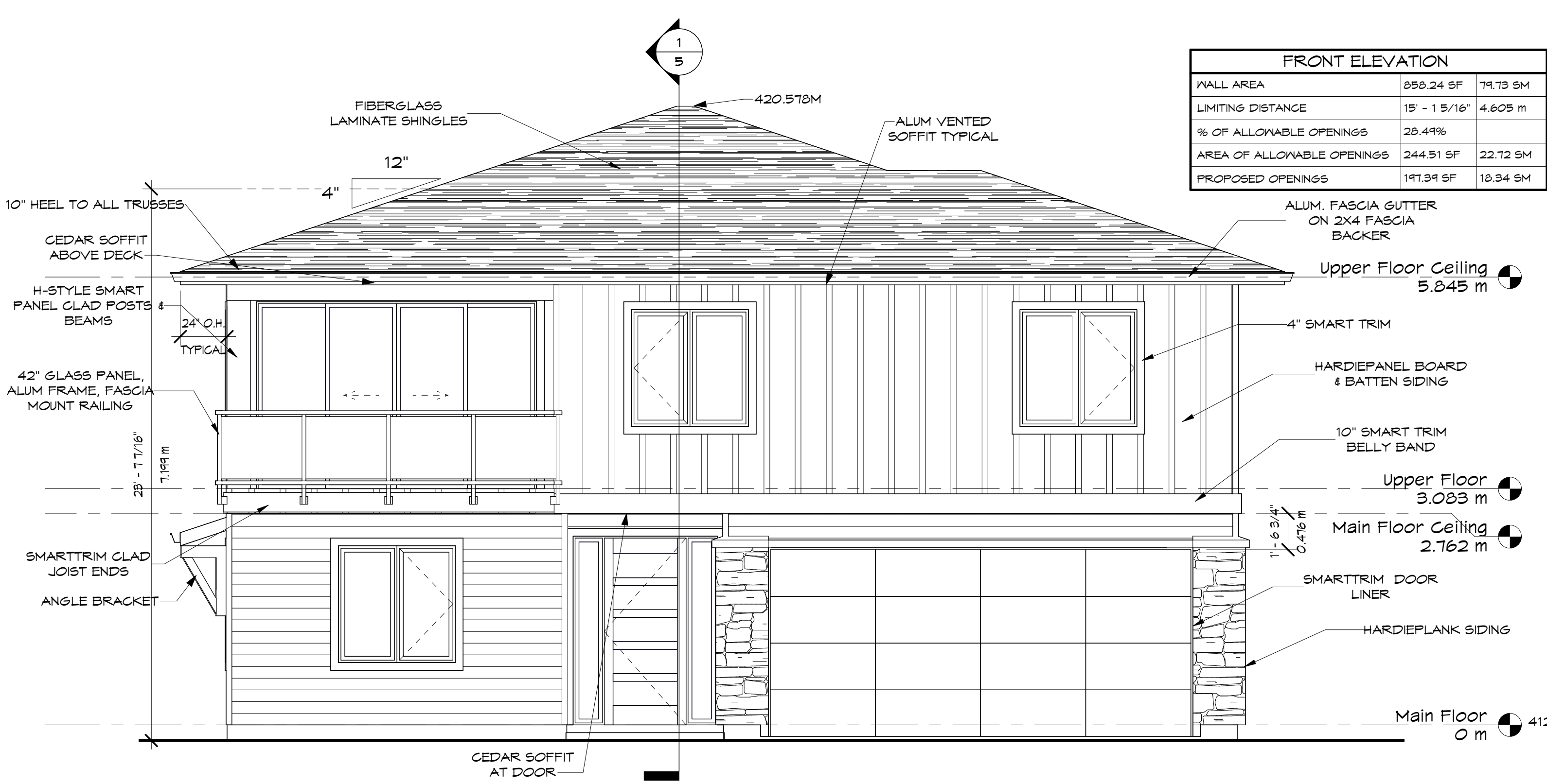
DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

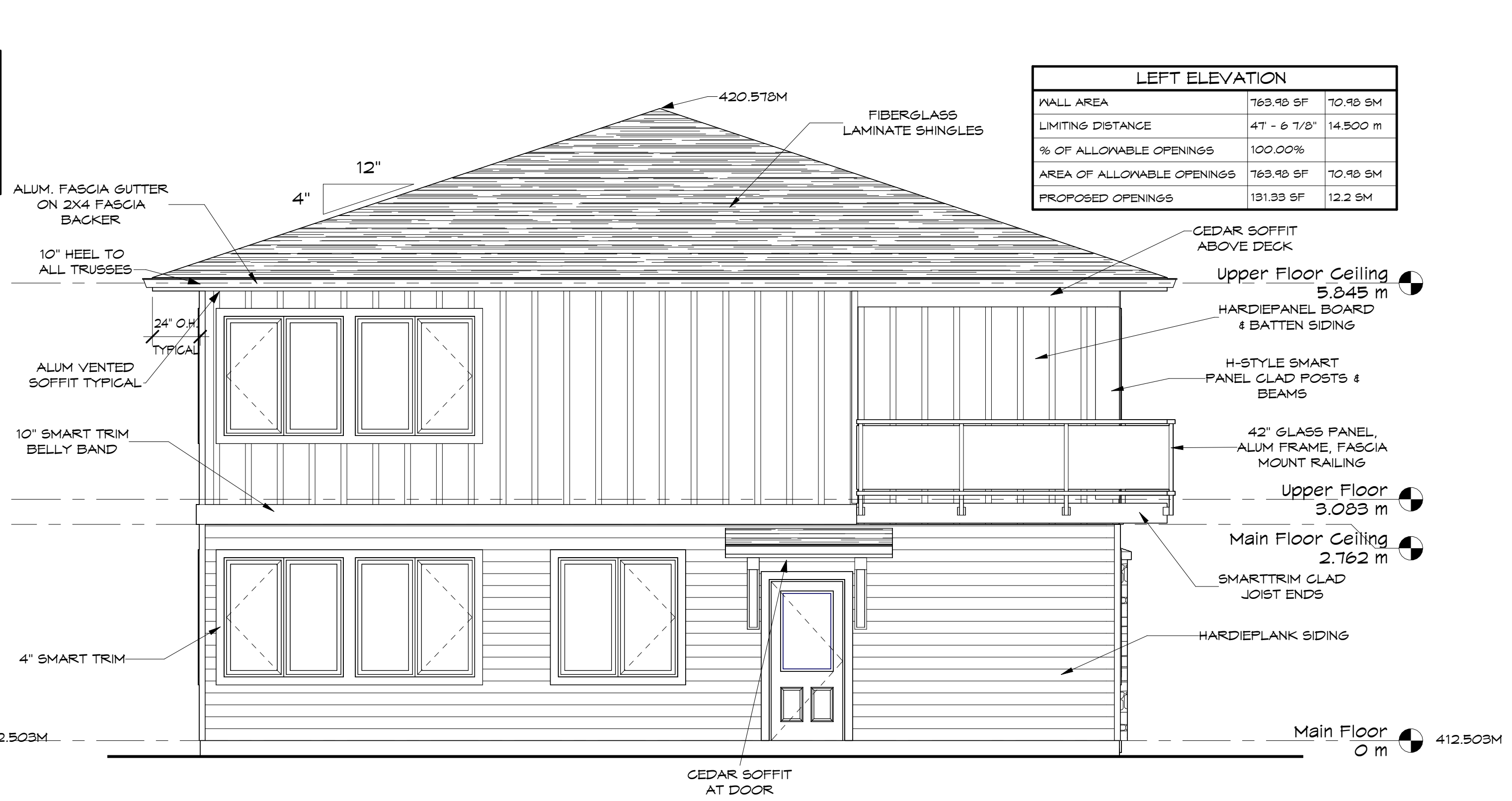
DRN. BY: J.A.S.

1

Creating Homes, Building Relationships



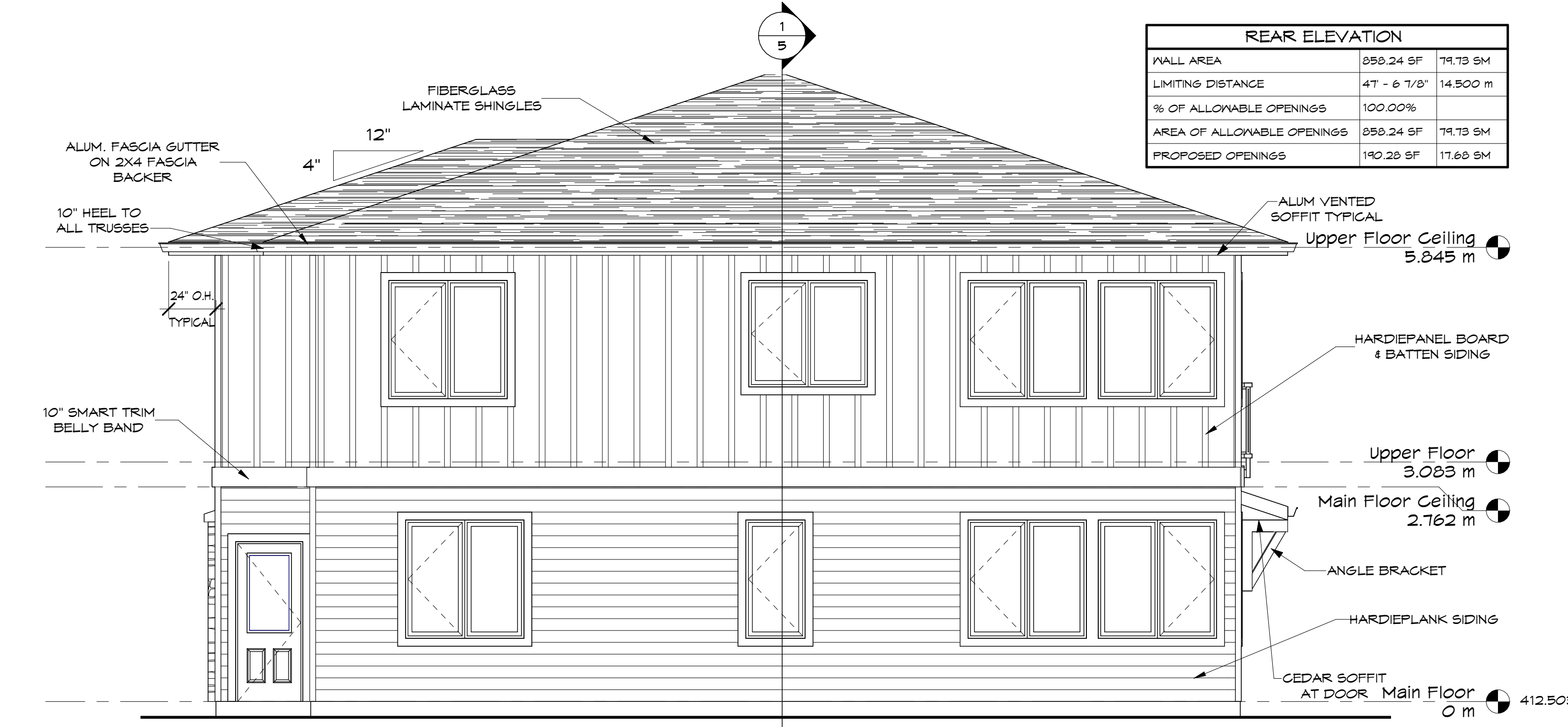
FRONT ELEVATION		
WALL AREA	859.24 SF	79.73 SM
LIMITING DISTANCE	15' - 1 5/16"	4.605 m
% OF ALLOWABLE OPENINGS	28.44%	
AREA OF ALLOWABLE OPENINGS	244.51 SF	22.72 SM
PROPOSED OPENINGS	197.34 SF	18.34 SM



LEFT ELEVATION		
WALL AREA	763.98 SF	70.98 SM
LIMITING DISTANCE	4' - 6 7/8"	14.500 m
% OF ALLOWABLE OPENINGS	100.00%	
AREA OF ALLOWABLE OPENINGS	763.98 SF	70.98 SM
PROPOSED OPENINGS	131.35 SF	12.2 SM

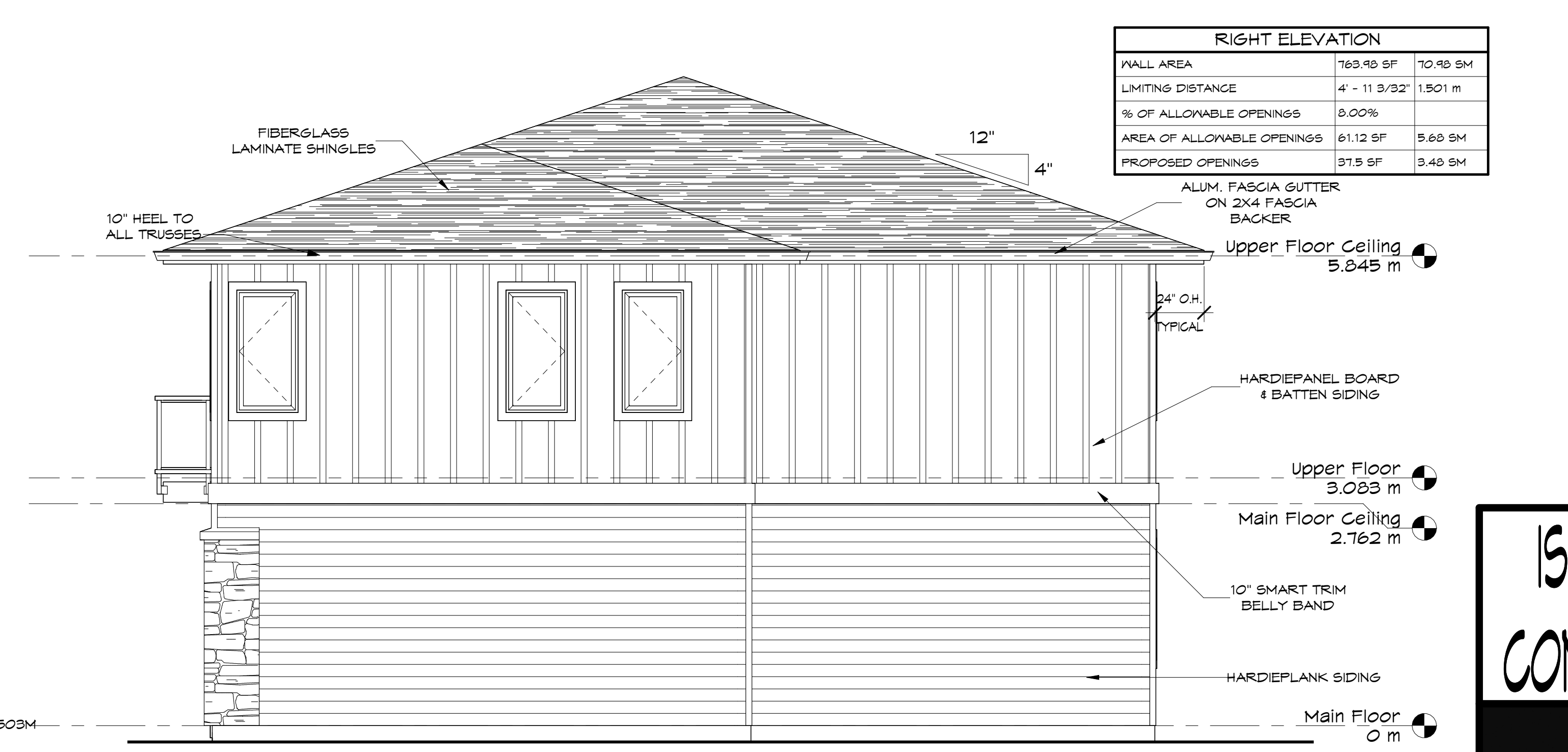
1 Front
1:48

2 Left
1:48



REAR ELEVATION		
WALL AREA	859.24 SF	79.73 SM
LIMITING DISTANCE	4' - 6 7/8"	14.500 m
% OF ALLOWABLE OPENINGS	100.00%	
AREA OF ALLOWABLE OPENINGS	859.24 SF	79.73 SM
PROPOSED OPENINGS	190.28 SF	17.68 SM

3 Rear
1:48



RIGHT ELEVATION		
WALL AREA	763.98 SF	70.98 SM
LIMITING DISTANCE	4' - 11 3/32"	13.01 m
% OF ALLOWABLE OPENINGS	8.00%	
AREA OF ALLOWABLE OPENINGS	61.12 SF	5.68 SM
PROPOSED OPENINGS	37.5 SF	3.48 SM

4 Right
1:48

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
204 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
ELEVATIONS

DRAWING SCALE: 1:48

DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

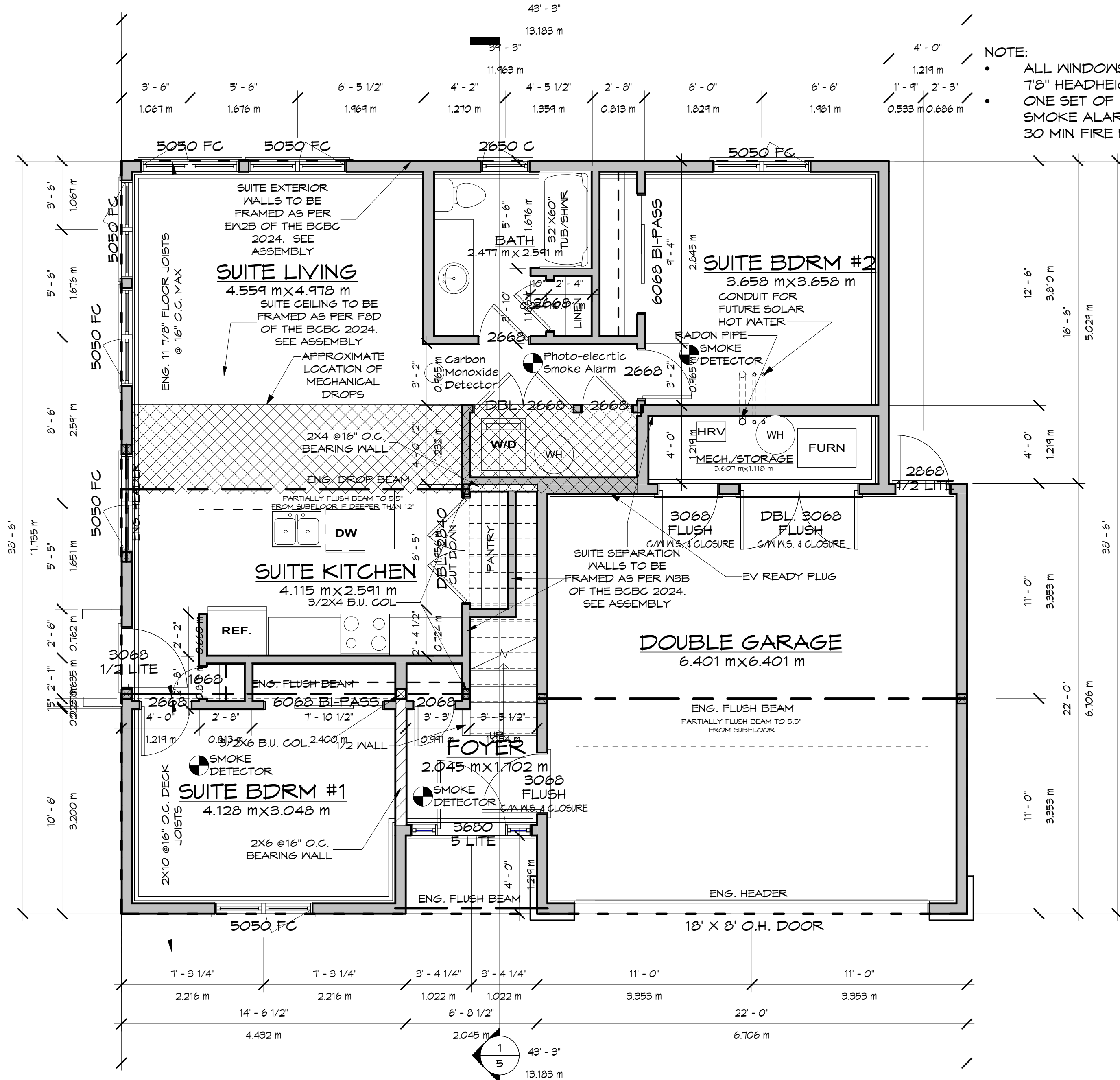
THIS HOME TO MEET STEP 3 OF
THE ENERGY STEP CODE. REFER
TO THE BC ENERGY COMPLIANCE
REPORT FOR MINIMUM
SPECIFICATIONS.

SUITE EXTERIOR WALL ASSEMBLY - W32b
 - 45 MIN FIRE RATING, STC N/A
 - EXTERIOR SHEATHING AND CLADDING
 - 2X6 @ 24" O.C. STUD WALL
 - C/M GLASS FIBER INSULATION
 - 5/8" TYPE X DRYWALL

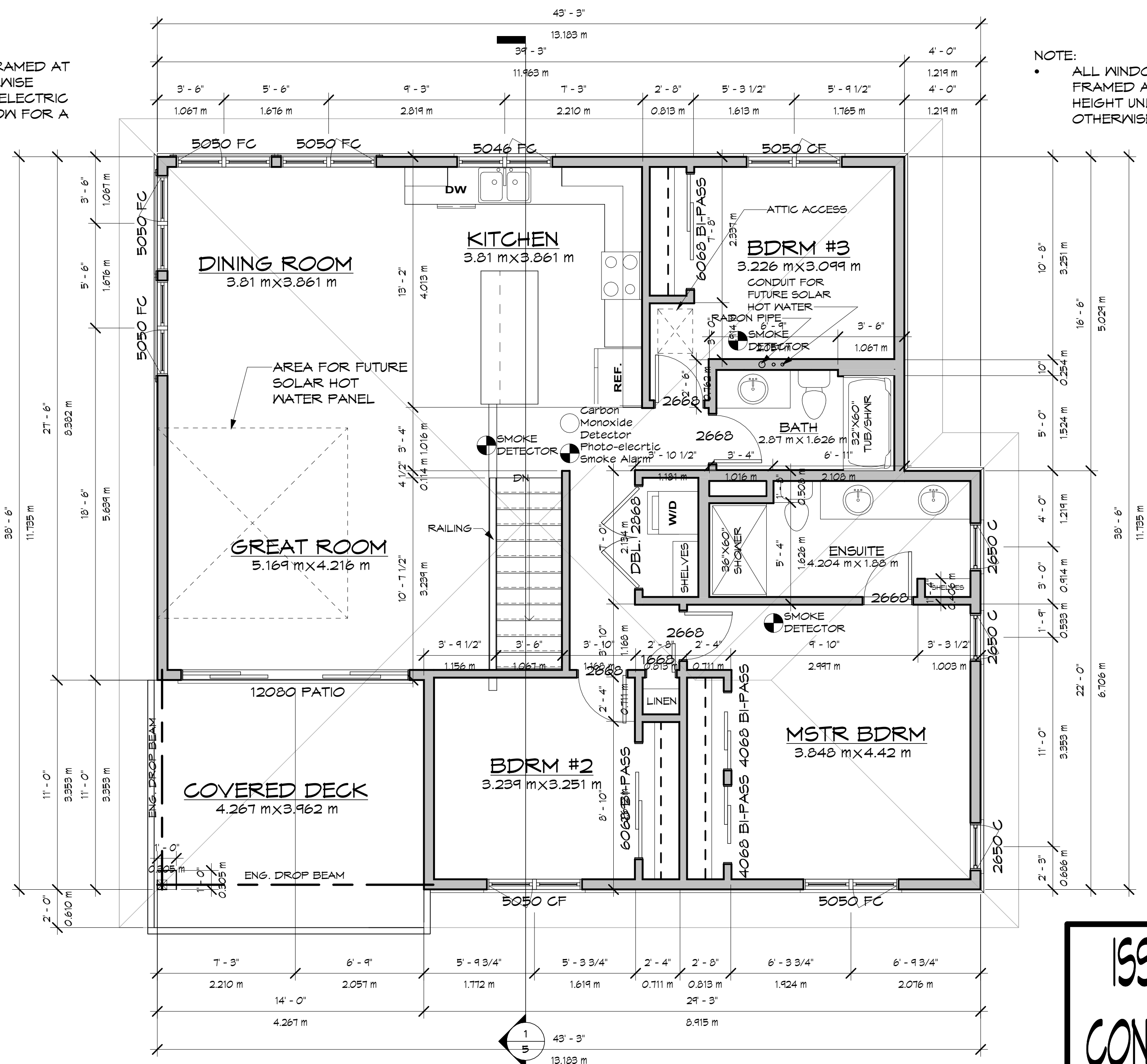
SUITE WALL SEPARATION - W3b
 - 60 MIN FIRE RATING, 48 STC
 - 5/8" TYPE X DRYWALL
 - 2X4 @ 24" O.C. STUD WALL
 - ROXUL INSULATION
 - RESILIENT METAL CHANNELS @ 16" OR 24" O.C.
 - 5/8" TYPE X DRYWALL

SUITE FLOOR ASSEMBLY - F3d
 - 30 MIN FIRE RATING, 44 STC
 - 3/4" SUBFLOOR
 - ENG. FLOOR SYSTEM @ 16" O.C.
 - C/M INSULATION
 - RESILIENT METAL CHANNELS @ 24" O.C.
 - 1 LAYERS OF 5/8" TYPE X DRYWALL

NOTE:
 • ALL WINDOWS ON FIRST FLOOR ARE FRAMED AT 78" HEADHEIGHT UNLESS NOTED OTHERWISE
 • ONE SET OF INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARMS IN EACH SUITE TO ALLOW FOR A 30 MIN FIRE RATING



① Main Floor
 1 : 48



NOTE:
 • ALL WINDOWS ARE FRAMED AT 78" HEAD HEIGHT UNLESS NOTED OTHERWISE

② Upper Floor
 1 : 48

THIS HOME TO MEET STEP 3 OF THE ENERGY STEP CODE. REFER TO THE BC ENERGY COMPLIANCE REPORT FOR MINIMUM SPECIFICATIONS.

Level	Name	Area	Ceiling Height
Main Floor	Suite	964 SF	2.762 m
Main Floor	Mech. Rm.	55 SF	2.762 m
Main Floor	Garage	465 SF	2.762 m
Main Floor	Foyer	89 SF	2.762 m
Upper Floor	Finished	1410 SF	2.762 m

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
 PHONE: (250)765-5191
 2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
 204 CARIBOO ROAD
 KELOWNA, B.C.

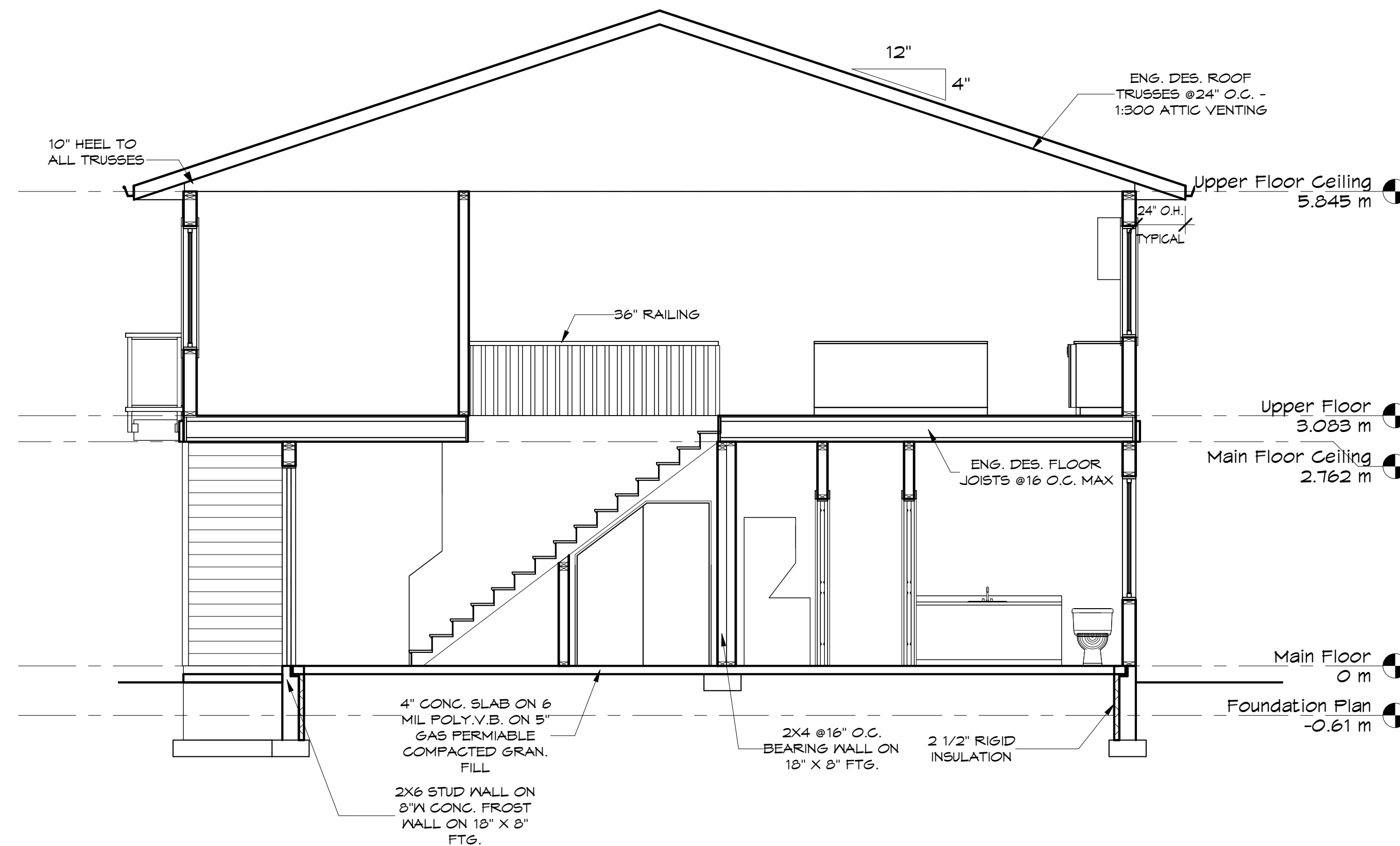
DRAWING TITLE:
 FLOOR PLANS

DRAWING SCALE: 1 : 48

DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.



① Section 1
1:48

ROOF CONSTRUCTION

- FIBERGLASS LAMINATE SHINGLES
- 30# ROOFING FELT
- 7/16" O.S.B. ROOF SHEATHING C/W "H" CLIPS
- ENGINEER DESIGNED ROOF TRUSSES
- R-50 INSULATION
- 6 MIL POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

SLAB ON GRADE SLAB CONSTRUCTION

- 4" CONC. SLAB @25 MPA
- 6 MIL POLY. VAPOUR BARRIER
- 5" GAS-PERMIABLE COMPACTED GRAN. FILL

GARAGE SLAB CONSTRUCTION

- 4" CONC. SLAB @25MPA
- 5" COMPACTED GRAN. FILL
- SLAB SLOPED TO O.H. DOOR

EXTERIOR WALL CONSTRUCTION

- HARDIE PLANK SIDING
- TYVEK OR EQUIVILANT AIR BARRIER
- 7/16" O.S.B. SHEATHING
- 2X6 SPF STUDS @24" O.C.
- R-24 INSULATION
- 6 MIL POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

INTERIOR WALL CONSTRUCTION

- 1/2" GYPSUM BOARD TO BOTH SIDES
- 2X4 SPF STUDS @16" O.C.

DECK CONSTRUCTION

- WEATHER PROOF MEMBRANE
- 3/4" T&G FIR PLYWOOD DECKING
- 2X10 D.FIR #2 DECK JOISTS @16" O.C.

INTERIOR FLOOR CONSTRUCTION

- FINISHED FLOORING
- 3/8" PLYWOOD UNDER TILED AREA
- 3/4" T&G FIR PLYWOOD SUBFLOOR
- ENGINEER DESIGNED FLOOR SYSTEM @16" O.C. MAX
- 1/2" GYPSUM BOARD

STAIR CONSTRUCTION

- 16 EQUAL RISERS OF 5/8" PLYWOOD
- 10" RUN
- 11" TREADS OF 1" O.S.B.
- 2X12 STRINGERS
- 2'-10" HANDRAILS

GENERAL NOTES

- ALL WORK TO BE IN COMPLIANCE WITH THE CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE 2024, CURRENT ELECTRICAL AND PLUMBING CODES AND ALL LOCAL BUILDING CODE AND BYLAWS WHICH MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE PERFORMED IN ALL RESPECTS TO GOOD BUILDING PRACTICE. WRITTEN DIMENSIONS TO BE FOLLOWED. DO NOT SCALE FROM DRAWINGS.
- ALL FLOOR JOISTS AND BEAMS TO BE D-FIR/LARCH #2 OR BETTER UNLESS NOTED OTHERWISE
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LB. FELT, 6 MIL. POLY. OR OTHER APPROVED METHOD.
- PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIA. ANCHOR BOLTS AT MAXIMUM 8" O.C. AND AT ALL CORNERS.
- ALL MEASUREMENTS, GRADES AND LEVELS TO BE VERIFIED ON SITE BEFORE COMMENCING CONSTRUCTION.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION AND TO THEIR APPROVAL.
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.

- FLOOR JOIST SPANS OF MORE THAN 7'0" SHALL BE BRIDGED AT MID-SPAN OR AT 7'0" O.C. MAXIMUM. BRIDGING SHALL BE 2X2" DIAGONAL TYPE CROSS BRIDGING INSTALLED AS PER THE B.C.B.C. 2024.
- FLASHING TO BE INSTALLED AT ALL PENETRATIONS IN ROOF SYSTEM AND CHANGES IN ROOF PLANE.
- ALL ELECTRICAL/PLUMBING FIXTURES TO BE VERIFIED WITH OWNER.
- FLASHING TO BE INSTALLED AT ALL CHANGES IN HORIZONTAL EXTERIOR FINISHINGS AND OVER ALL UNPROTECTED OPENINGS. CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS.
- HARMONY HOMES SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- HARMONY HOMES MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE CONSTRUCTION DRAWINGS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF ALL TRADES AND SUB-TRADES TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE COMMENCING WITH THEIR PORTION OF THE CONSTRUCTION. SHOULD DISCREPANCIES BE FOUND ON THESE PLANS, PLEASE ADVISE OUR OFFICES SO WE CAN MAKE THE NECESSARY CORRECTIONS.

INTERIOR SWING DOORS

ROUGH OPENING IS ALWAYS 82 1/2" HIGH X 2" GREATER THAN THE NOMINAL DOOR SIZE
EX. 28 X 68 = 34" X 82 1/2"

INTERIOR BIFOLDS

ROUGH OPENINGS FOR 2 PANEL DOORS ARE 1 1/4" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 30 X 68 = 37 1/4" X 81 1/2"
ROUGH OPENINGS FOR 4 PANEL DOORS ARE 1" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 50 X 68 = 61" X 81 1/2"

ISSUED FOR
CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
204 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
CROSS SECTION

DRAWING SCALE: 1 : 48

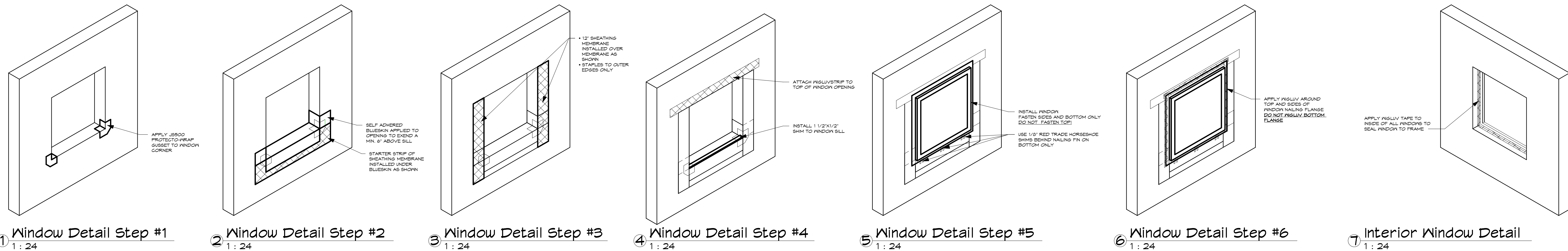
DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

5

Creating Homes, Building Relationships



1 Window Detail Step #1
1: 24

2 Window Detail Step #2
1: 24

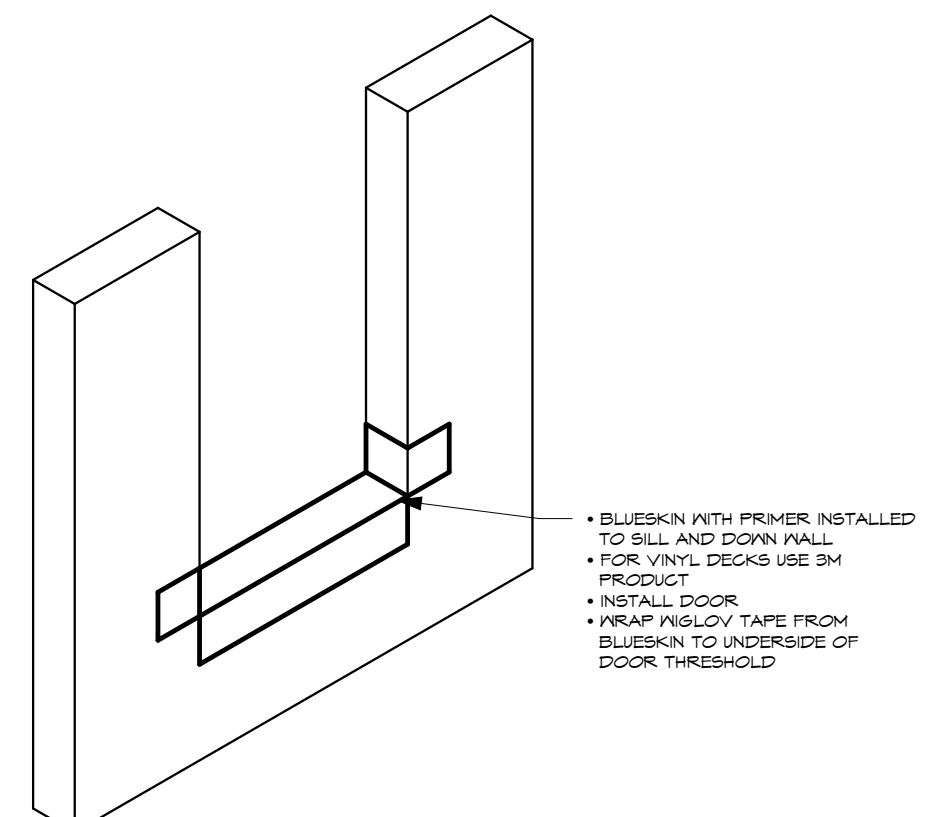
3 Window Detail Step #3
1: 24

4 Window Detail Step #4
1: 24

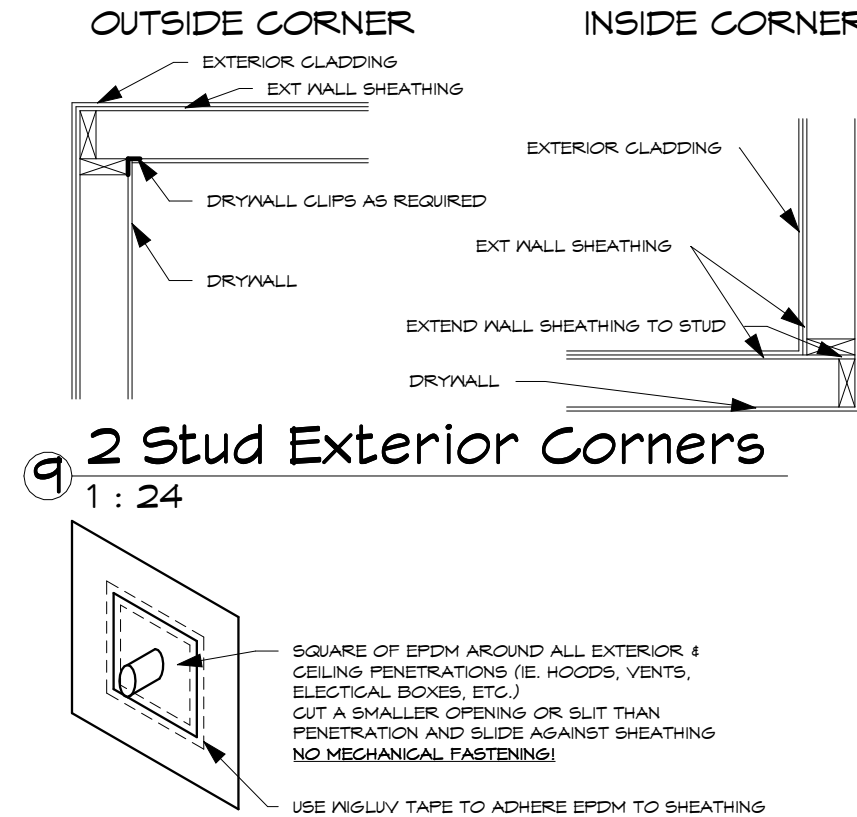
5 Window Detail Step #5
1: 24

6 Window Detail Step #6
1: 24

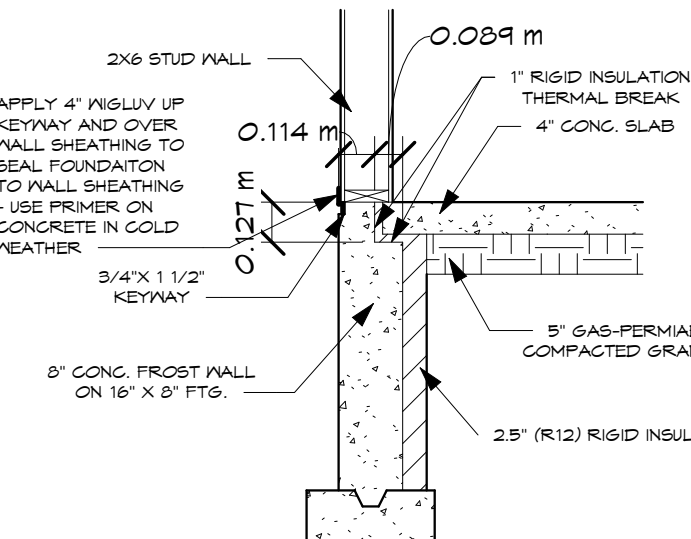
Interior Window Detail
1: 24



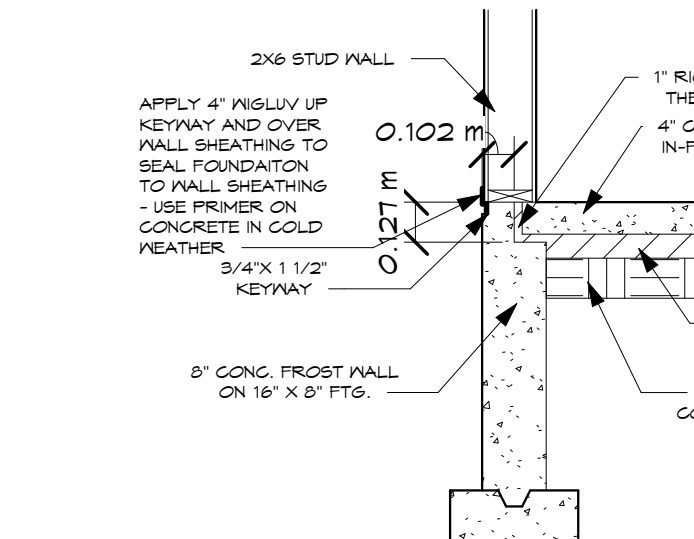
8 Door Sill Detail
1: 24



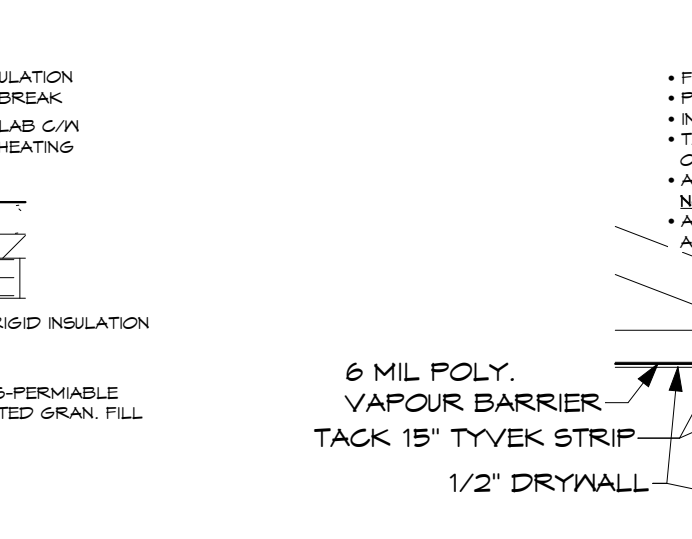
9 2 Stud Exterior Corners
1: 24



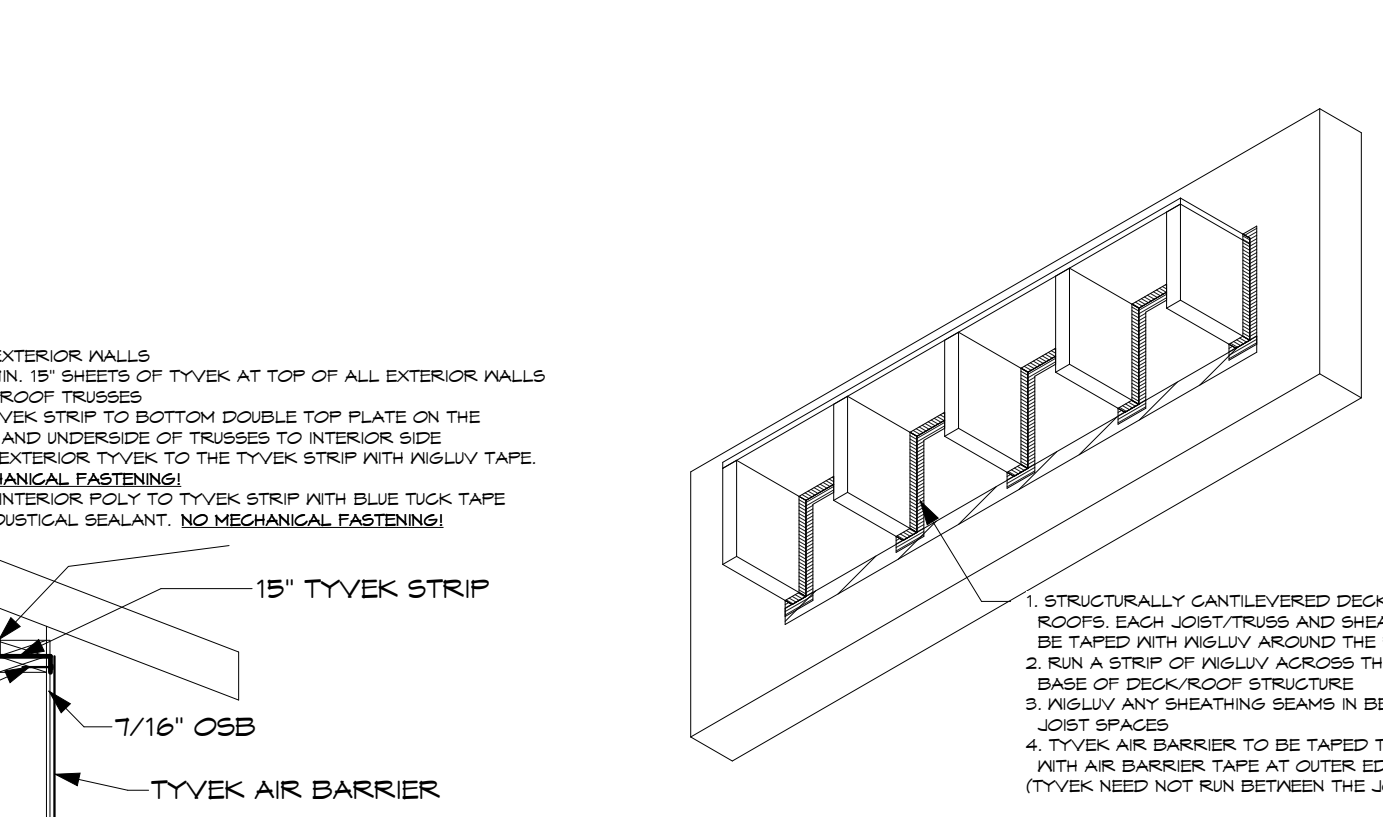
11 Frost Wall Detail
1: 24



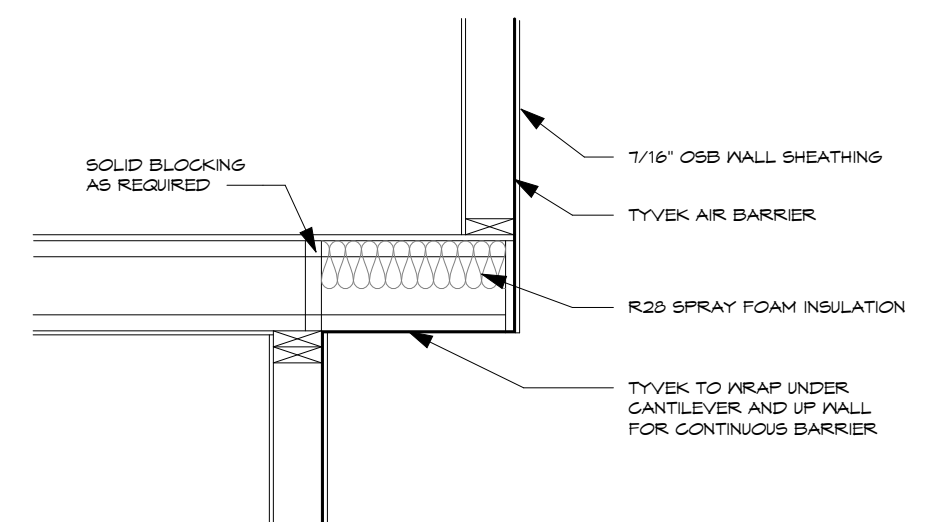
12 Heated Slab Detail
1: 24



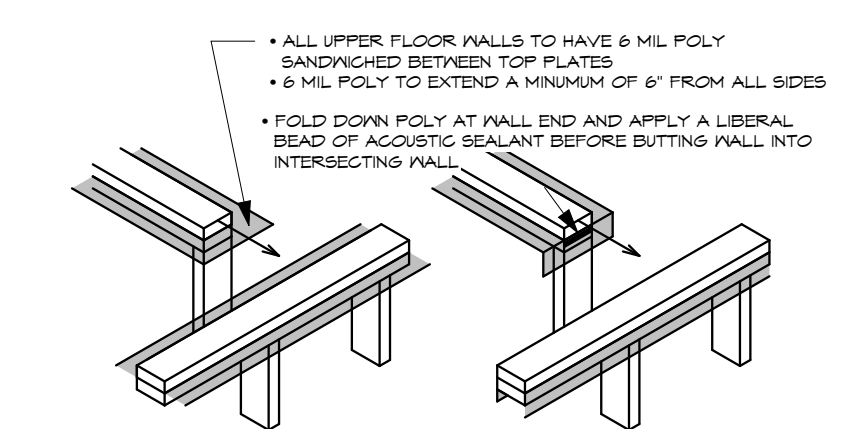
13 Exterior Wall Air Barrier Detail
1: 24



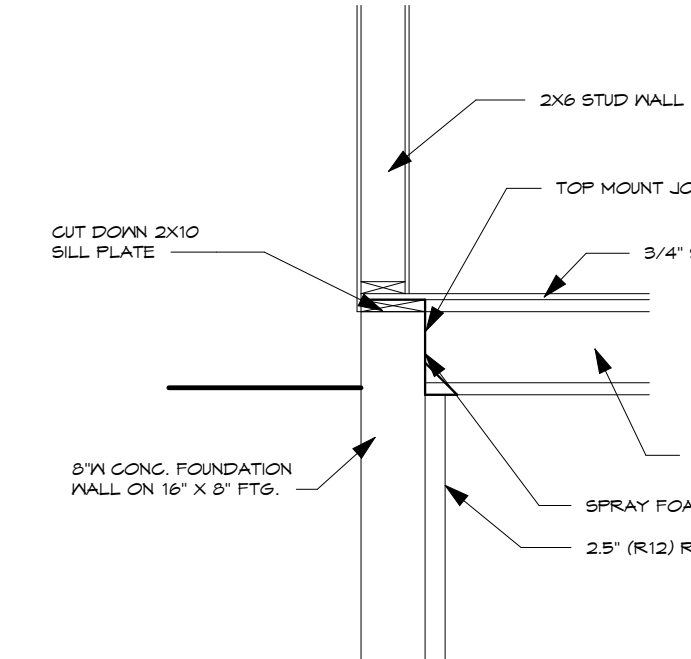
14 Cantilevered Deck Air Barrier Detail
1: 24



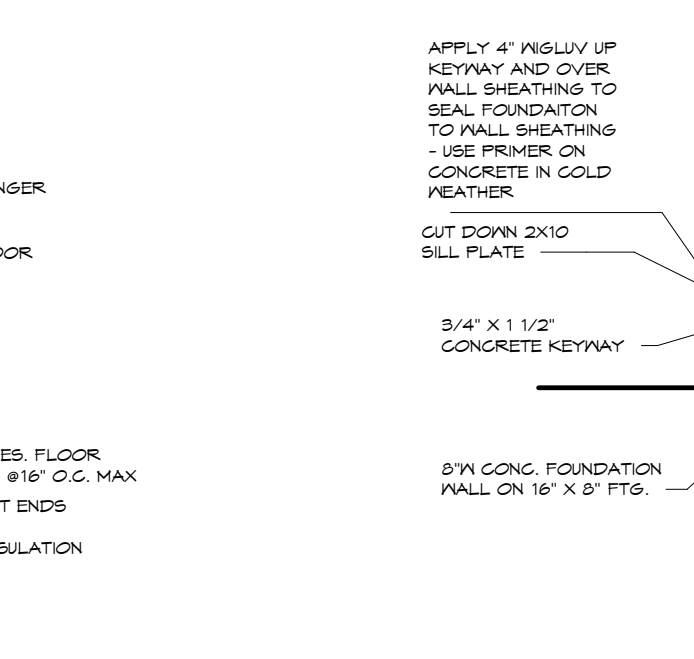
15 Cantilever Air Barrier Detail
1: 24



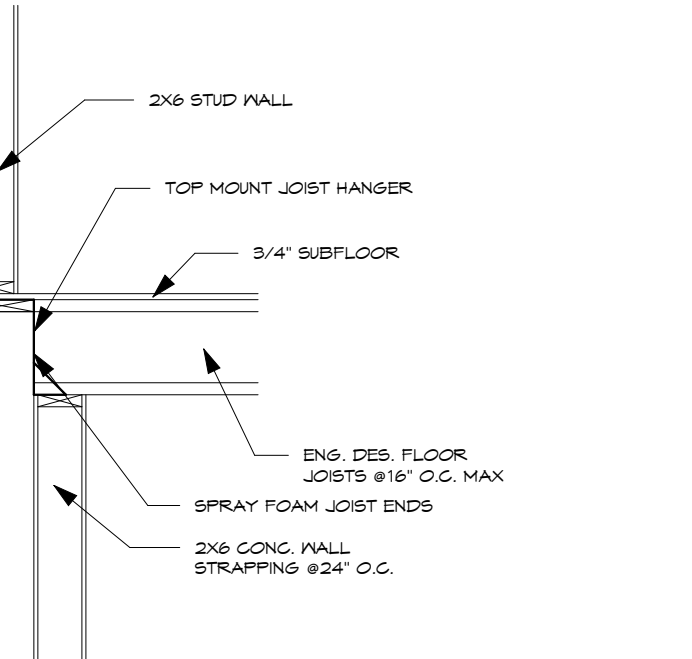
16 Ceiling Air Barrier Detail
1: 24



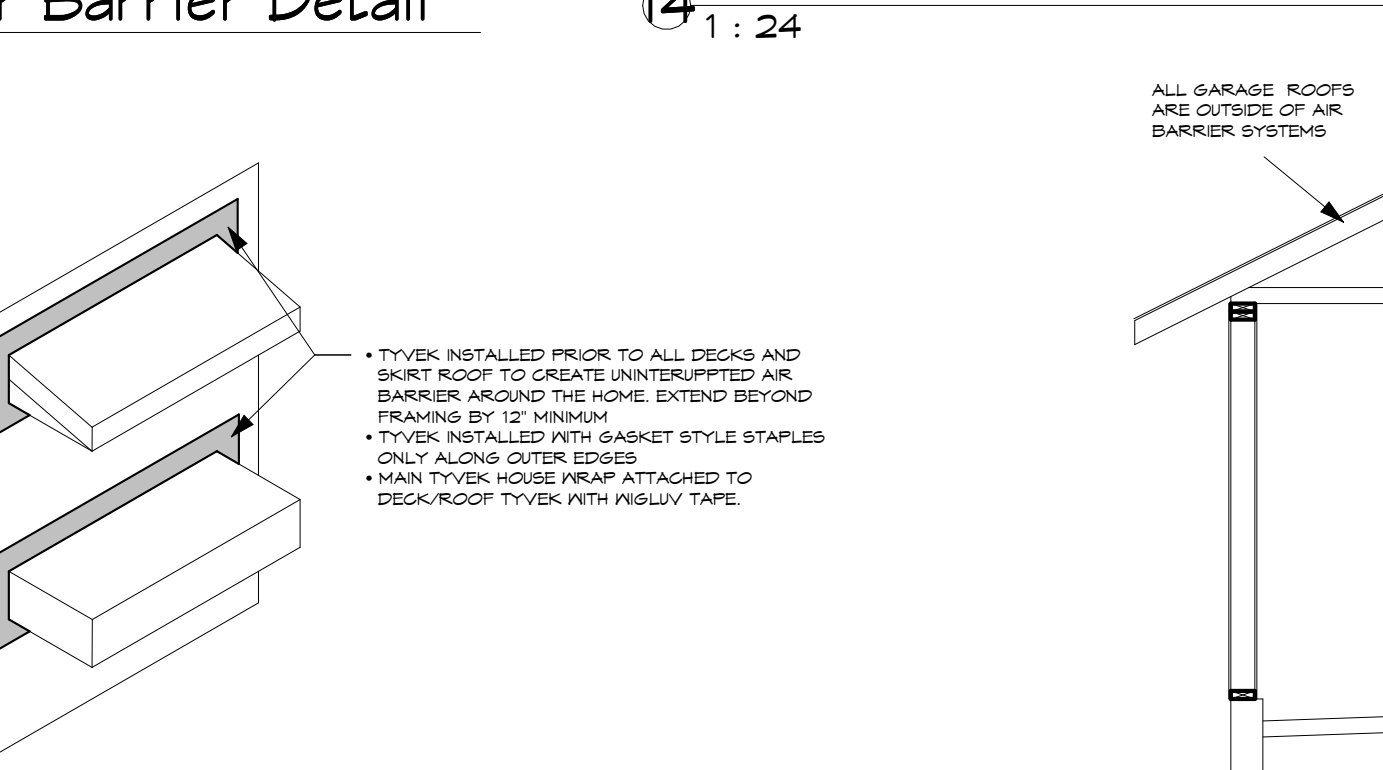
17 Crawlspace Recessed Joist Detail
1: 24



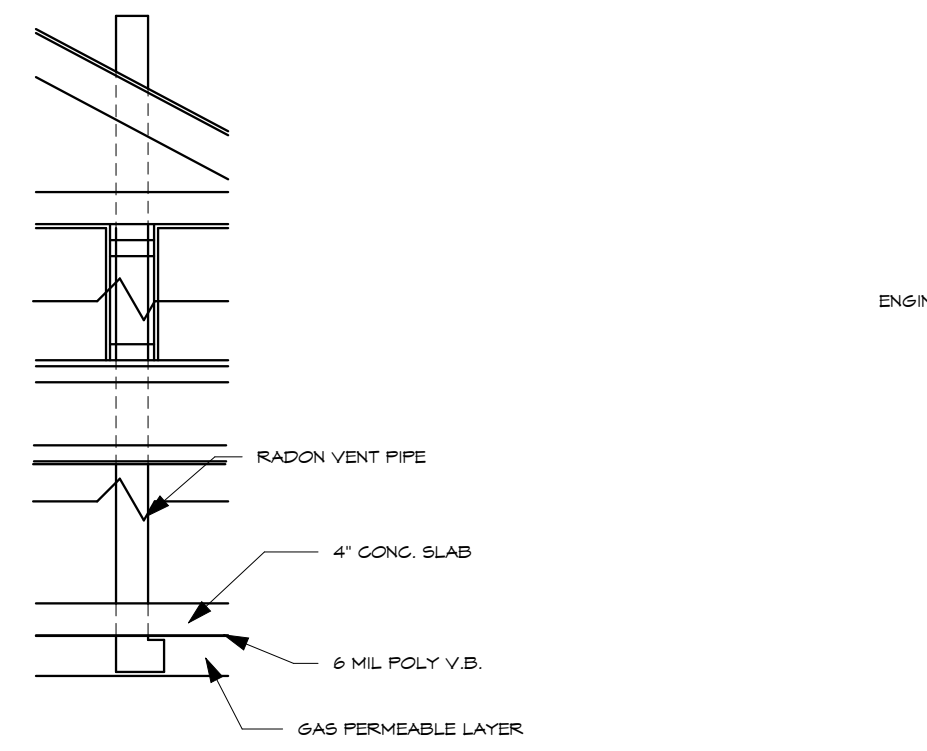
18 Recessed Joist Detail c/w 1 Plate
1: 24



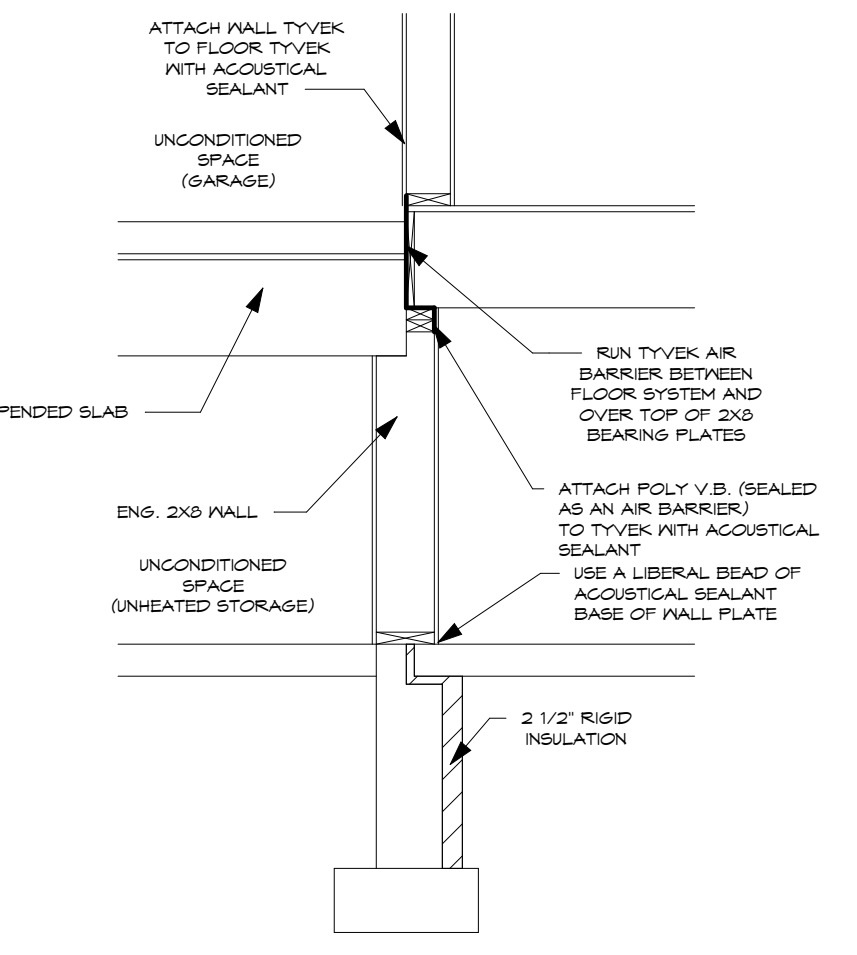
19 Deck or Skirt Roof Air Barrier Detail
1: 48



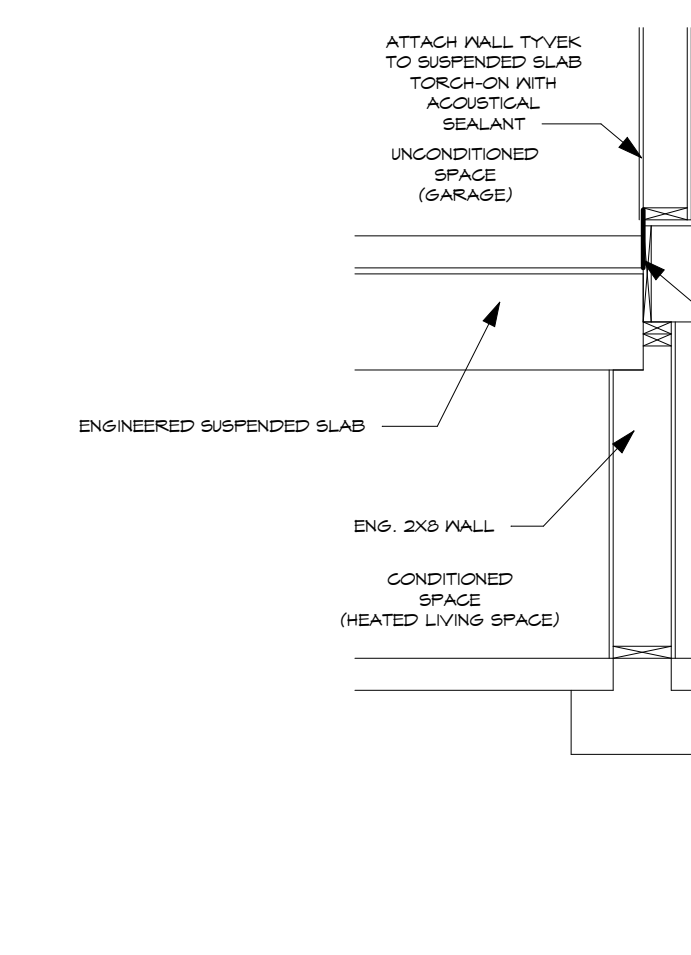
20 Garage Air Barrier Detail
1: 48



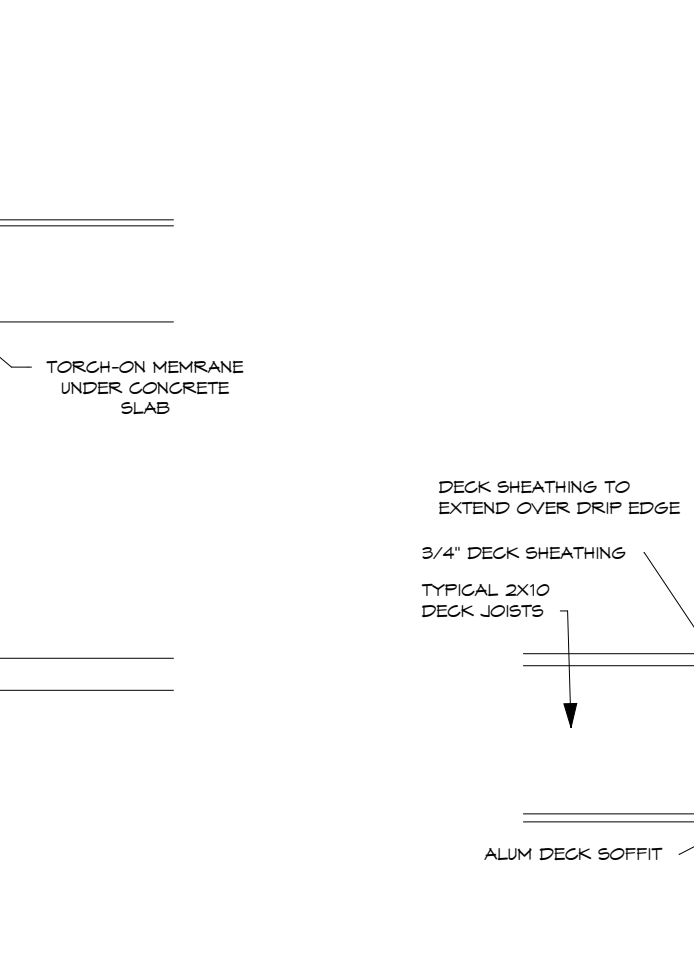
21 Radon Depressurization Detail
1: 24



22 Unheated Suspended Slab Detail
1: 24



23 Heated Suspended Slab Detail
1: 24



24 Deck Drip Edge Detail
1: 12

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
204 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE:
STANDARD DETAILS

DRAWING SCALE: As indicated

DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.



BC STEP CODE COMPLIANCE CHECKLIST - PERFORMANCE PATHS FOR PART 9 BUILDINGS



A: PROJECT INFORMATION

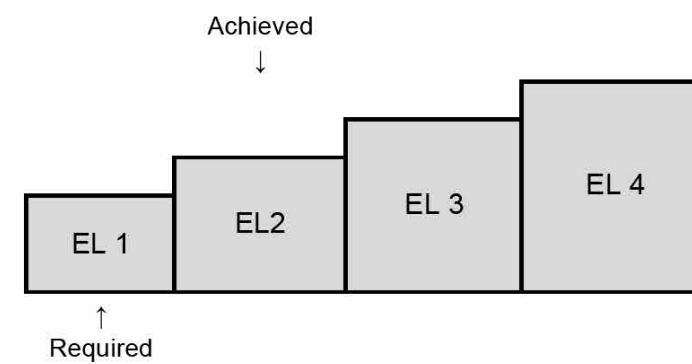
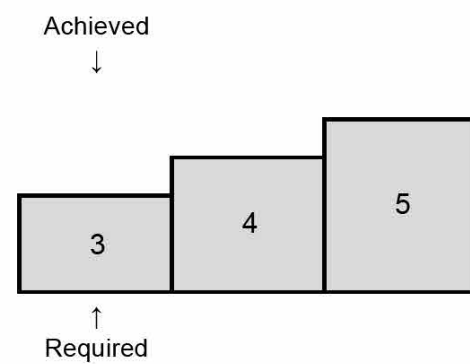
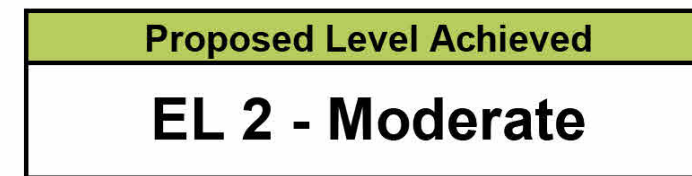
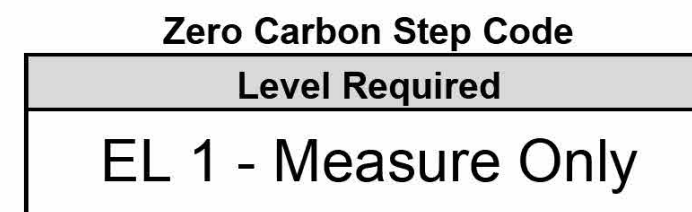
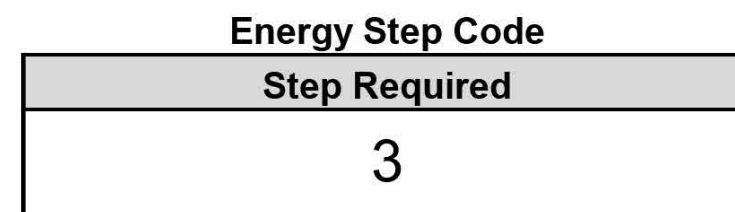
Building Permit #: TBD
Builder: Harmony Co-ordination Services Ltd.
Project Address: 204 CARIBOO RD
Municipality / District: KELOWNA
Postal Code: TBD
PID or Legal Description: 030-705-797

Pre Construction

Building Type: Single Detached w/Secondary Suite
of Dwelling Units: 2

B: CODE COMPLIANCE SUMMARY

BC Building Code Performance Compliance Path: 9.36.6. BC Energy Step Code ERS



Based on info provided by the builder & the following drawings:

Plan Author: Harmony Homes
Plan Version: Rev 2
Plan Date: 04/09/2024

C: COMPLETED BY

Full Name (Print): Brendon Gray
Company Name: Egnite Sustainability Inc.
Phone: 1-250-575-3828
Address: 227-1889 Springfield Rd
Email: info@egnite.ca
Date (YYYY-MM-DD): 2024-07-04
Service Organisation: Envision
Energy Advisor ID #: 52A3
CODECO placed in Field 8 of H2K: x

P File #: 52A3P01269

D: BUILDING CHARACTERISTICS SUMMARY

Table with columns: Details (Assembly / System Type / Fuel Type / Etc.), Average Effective RSI, Performance Values (USI, SHGC, ACH, NLA, NLR, HSPF, SEER, EF, % EFF, L/s)

E: 9.36.5. ENERGY PERFORMANCE COMPLIANCE

Complete this section if using the Energy Performance Compliance Path in Subsection 9.36.5.

Table comparing Proposed House Energy Consumption (GJ/year) and Reference House Rated Energy Target (GJ/year) for HVAC, DHW Heating, and SUM.

The airtightness value used in the energy model calculations for the Proposed house is: 2.50
Or Testing Target: 2.50

The above calculation was performed in compliance with Subsection 9.36.5. of Division B:

F: 9.36.6. ENERGY STEP CODE COMPLIANCE

Proposed House Rated Energy Consumption (GJ/year): 43
Reference House Rated Energy Target (GJ/year): 74

Table of Proposed Calculations for Energy Step Code Compliance, including metrics like Step Code Level, Mechanical Energy Use Intensity (MEUI), % Improvement, Thermal Energy Demand (TED), % Heat Loss Reduction, Airtightness, etc.

Software Used: Hot 2000
Version: 11.12
Heated Floor Area (m²): 221.50
Building Volume (m³): 670.80
Building Surface Area (m²): 550.90
FWDR: 24.5%

G: ZERO CARBON STEP CODE

Table of Proposed Calculations for Zero Carbon Step Code, including metrics like Zero Carbon Step Code Level, Total GHG, CO2 per floor area with max, Prescriptive requirements, etc.

The undersigned has verified that the project complies with Subsection 9.36.5/9.36.6 of Division B, as detailed in the 2018 BC Building Code

Egnite Sustainability Inc - Brendon Gray

ISSUED FOR CONSTRUCTION



HARMONY CO-ORDINATION SERVICES LTD.
PHONE: (250)765-5191
2065 PIER MAC WAY, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
NIC SCHULZ
204 CARIBOO ROAD
KELOWNA, B.C.

DRAWING TITLE: ENERGY REPORT

DRAWING SCALE:

DATE: JUNE 4, 2024

REV. DATE: AUG 9, 2024

DRN. BY: J.A.S.

7

Creating Homes, Building Relationships

SCHULZ / HARMONY HOMES

200 Cariboo Road
Kelauna, BC

client:	date:	revision:
scale:	September 11, 2024	REV004
drawn by:	checked by:	drawing #:
SJEMPE	B.FITZ	200CAR

PRELIMINARY DESIGN ONLY. THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT.

WARRANTIES ARE NULL AND VOID DUE TO DAMAGE FROM WILDLIFE SUCH AS DEER, RABBITS, VOLES AND OTHER RODENTS. ALTHOUGH PLANTS LISTED MAY BE RATED AS RESISTANT TO THESE ANIMAL SPECIES, IT IS NOT GUARANTEED ACCURATE.

CLIENT'S SIGNATURE OF ACCEPTANCE

THIS SIGNATURE AUTHORIZES THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION OF THIS PROJECT AS REPRESENTED BY THIS DESIGN.

THIS SIGNATURE ALSO ACKNOWLEDGES THE SCOPE AND DETAILS OF THE PROJECT AS REPRESENTED BY THIS DESIGN. ANY SUBSEQUENT CHANGES MUST BE MADE VIA CHANGE ORDER AND WILL RESULT IN ADDITIONAL COSTS.

DEVELOPER'S SIGNATURE OF ACCEPTANCE

LANDSCAPE NOTES:

UNDERGROUND TIME CONTROLLED IRRIGATION TO BE INSTALLED AND INCLUDES POP-UPS FOR TURF AND DRIP LINES FOR PLANT BEDS.

ALL LANDSCAPING TO FOLLOW BCLMA GUIDELINES.

ALL MEASUREMENTS AND QUANTITIES TO BE CONFIRMED.

ALL NATURAL TURF TO BE OKANAGAN DROUGHT TOLERANT MIX

ALL TREES TO BE MINIMUM SIZE LISTED

ALL SHRUBS, PERENNIALS AND GRASSES TO BE MINIMUM #1 POT SIZE.

ALL PLANT BEDS TO BE NUTRIENT RICH BARK MULCH.

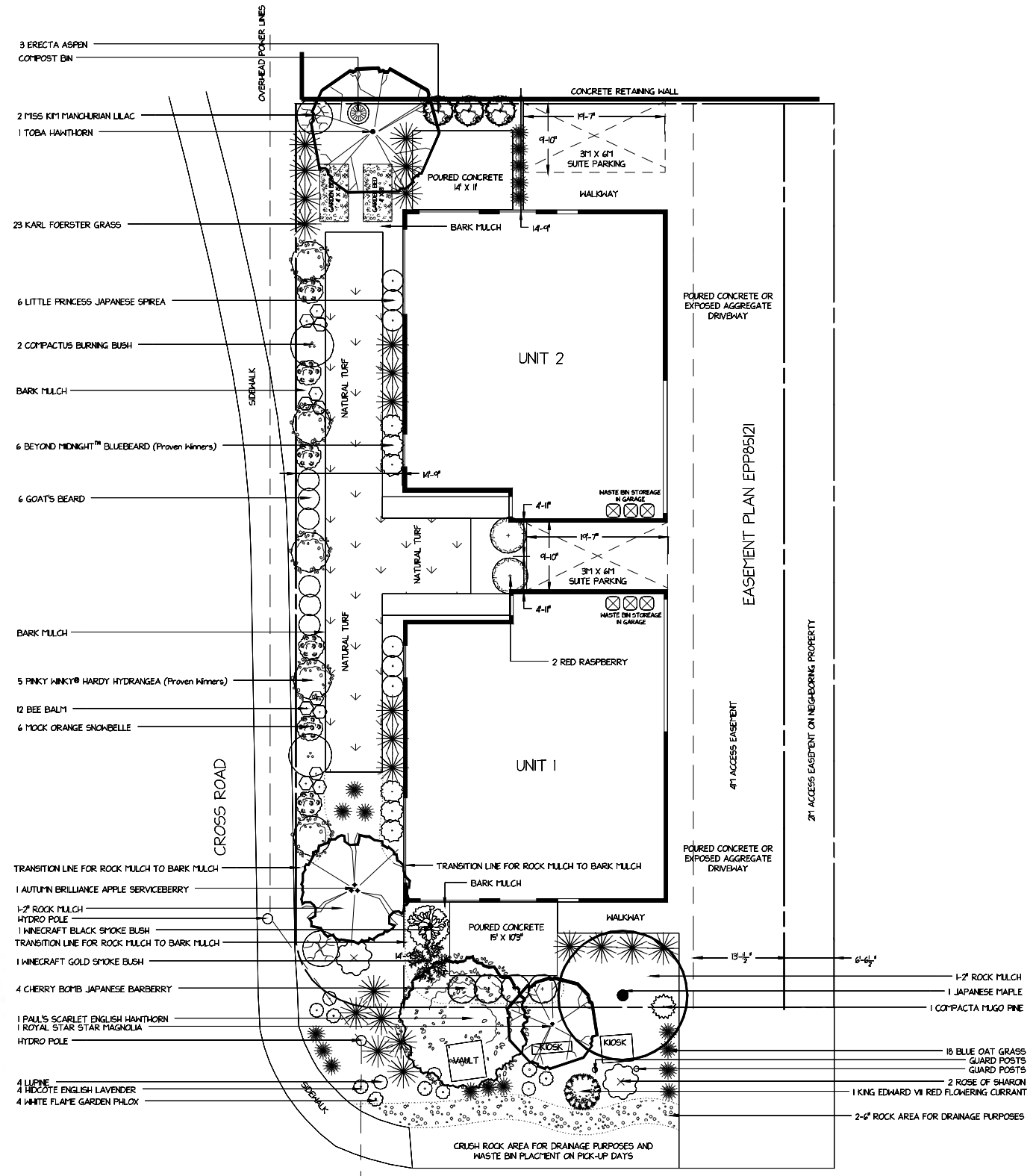
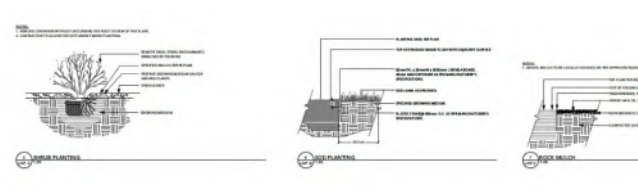
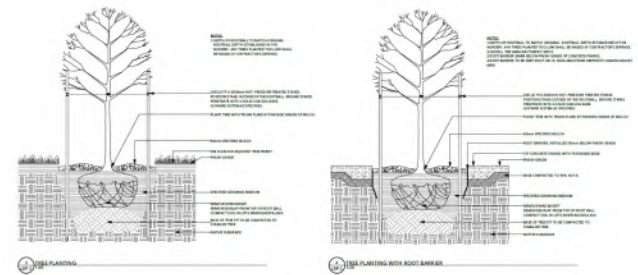
SITE GRADE IS GENERALLY FLAT - FINAL GRADE TO GENTLY SLOPE AWAY FROM BUILDING FOR PROPER DRAINAGE.

LANDSCAPING STANDARDS	ZONE	PROPOSED
MIN TREE CALIPER	PER 10 Linear Meters	PER 10 Linear Meters
MIN DECIDUOUS TREE CALIPER	5-3 cm; 11-4 cm; L-5 cm	5-3 cm; 11-4 cm; L-5 cm
MIN CONIFEROUS TREE HEIGHT	250 cm	250 cm
MIN. RATIO BETWEEN TREE SIZE	5=25% Max; 1= No Limit; L=50% Min	5=2; 1=0; L=2
MIN. GROWING MEDIUM AREA	75 %	75 %
MIN. GROWING MEDIUM VOLUMES PER TREE	5-5 m ³ ; 11-20 m ³ ; L=30m ³	5-5 m ³ ; 11-20 m ³ ; L=30m ³
LANDSCAPE GRADED AREAS	2 %	2 %
FENCE HEIGHT	20 m	18 m
REPAIRMAN MANAGEMENT AREA?	NO	
RETENTION OF EXISTING TREES ON SITE?	NO	
SURFACE PARKING LOT (7200)?	NO	
REFUSE & RECYCLE BINS SCREENED?	NO	

PLANT DISCLAIMER

PLANT SPECIES ARE SUBJECT TO AVAILABILITY IN LOCAL NURSERIES. SUBSTITUTIONS MAY BE NECESSARY. IN THE EVENT THAT A PLANT LISTED ABOVE CANNOT BE OBTAINED, A LIKE FOR LIKE PLANT SPECIES OF THE SAME SIZE MAY BE INSTALLED IN ITS PLACE.

Qty	Botanical Name	Common Name	Size/Condition
Trees			
1	<i>Amelanchier x grandiflora</i> Autumn Brilliance	AUTUMN BRILLIANCE APPLE SERVICEBERRY	3 cm
3	<i>Populus tremula</i> Erecta	ERECTA ASPEN	3 cm
1	<i>Acer palmatum</i>	JAPANESE MAPLE	5 cm
1	<i>Cotoneaster laevigata</i> Paul's Scarlet	PAUL'S SCARLET ENGLISH HAWTHORN	3 cm
1	<i>Magnolia stellata</i> Royal Star	ROYAL STAR STAR MAGNOLIA	3 cm
1	<i>Cotoneaster x mordenensis</i> Toba	TOBA HAWTHORN	3 cm
Shrubs			
6	<i>Caryopteris x clandonensis</i> CT-9-12 ppof, cbrat (Proven Winners)	BEYOND MIDNIGHT™ BLUEBEARD (Proven Winners)	1 gal
4	<i>Berberis thunbergii</i> Toba	CHERRY BOMB JAPANESE BARBERRY	1 gal
1	<i>Pinus mugo</i> Compacta	COMPACTA MUGO PINE	1 gal
1	<i>Euonymus alatus</i> Compactus	COMPACTUS BURNING BUSH	1 gal
1	<i>Ribes sanguineum</i> King Edward VII	KING EDWARD VII RED FLOWERING CURRANT	1 gal
2	<i>Syringa palubis</i> Miss Kim	MISS KIM MANCHURIAN LILAC	1 gal
4	<i>Philadelphus x virginicus</i>	MOCK ORANGE SNOWBELLE	1 gal
5	<i>Hydrangea paniculata</i> DVPFINKY pp16/K6, dr#2089 (Proven Winners)	PINKY WINKY® HARDY HYDRANGEA (Proven Winners)	1 gal
2	<i>Rubus idaeus</i>	RED RASPBERRY	1 gal
2	<i>Hibiscus syriacus</i>	ROSE OF SHARON	1 gal
1	<i>Cotinus coggygria</i> Minecroft Black	MINECRAFT BLACK SMOKE BUSH	1 gal
1	<i>Cotinus coggygria</i> Minecroft Gold	MINECRAFT GOLD SMOKE BUSH	1 gal
Ornamental Grasses			
18	<i>Helictotrichon sempervirens</i>	BLUE OAT GRASS	1 gal
23	<i>Calamagrostis x acutiflora</i> Karl Foerster	KARL FOERSTER GRASS	1 gal
Perennials			
12	<i>Platanus alba</i>	BEE BALM	1 gal
6	<i>Arnica montana</i>	GOAT'S BEARD	1 gal
4	<i>Lavandula angustifolia</i> Hidcote	HIDCOTE ENGLISH LAVENDER	1 gal
4	<i>Lupinus polyphyllus</i>	LUPINE	1 gal
4	<i>Phlox paniculata</i> Flame White	WHITE FLAME GARDEN PHLOX	1 gal



CARIBOO ROAD